



**TOWN OF CAREFREE
MEETING NOTICE
of the
DEVELOPMENT REVIEW BOARD**

WHEN: MONDAY, MAY 01, 2023
WHERE: CAREFREE TOWN COUNCIL CHAMBERS
33 EASY STREET, CAREFREE, AZ 85377
TIME: 5:00 P.M.
LIVESTREAM: [Town of Carefree - YouTube](#)

Pursuant to A.R.S. § 38-431.02, notice is hereby given to the members of the Development Review Board, Board of Adjustment, the Economic Development Advisory Board and to the public that the Development Review Board will hold a public meeting on **MONDAY, MAY 01, 2023** at 5:00 p.m.

THE AGENDA FOR THE MEETING IS AS FOLLOWS:

CALL TO ORDER, SILENT ROLL CALL, and PLEDGE OF ALLEGIANCE.

ITEM 1: APPROVAL of the Development Review Board meeting minutes dated April 10, 2023.

ITEM 2: DISCUSSION AND POSSIBLE ACTION on a request for:

CASE #: 21-18-SP

APPLICANT: Carefree Spirits Distillery
35303 N 98th Street
Scottsdale, AZ 85262

CASE LOCATION: 7200 E Cave Creek Road
Carefree, AZ 85377
APN: 216-23-084A

ZONING: Commercial (C)

REQUEST: Review, discussion and possible action to approve Site Plan Case #21-18-SP for the Carefree Spirits Distillery located at the northeast corner (NEC) of Cave Creek Road and Scopa Trail. This is public meeting and comments will be taken.

ITEM 3. ANNOUNCEMENTS

ITEM 4: ADJOURNMENT

Samantha Gesell

Samantha Gesell, Planning Clerk
POSTED APRIL 26, 2023



FOR SPECIAL ACCOMMODATIONS

Please contact the Planning Clerk, 8 Sundial Circle (PO Box 740), Carefree, AZ 85377; (480) 488-3686, at least three working days prior to the meeting if you require special accommodations due to a disability.

*All official Town Council and Commission meetings are scheduled to be held in-person within Council Chambers, located at 33 Easy St.

The Town is currently in the process of upgrading its audio/visual equipment.

Audio recordings of official meetings will be posted to our website for public record until the new equipment is available for video recording. Thank you for your patience as we work to improve our systems.



**JOINT MEETING OF THE
TOWN OF CAREFREE
PLANNING AND ZONING COMMISSION, DEVELOPMENT REVIEW BOARD AND
THE ECONOMIC DEVELOPMENT ADVISORY BOARD
DRAFT MINUTES**

WHEN: MONDAY, APRIL 10, 2023
WHERE: 33 EASY STREET
TIME: 5:15 P.M.
LIVESTREAM: CAREFREE YOUTUBE CHANNEL: [Town of Carefree - YouTube](#)

PRESENT:

Chairperson Tom Cross
Mary Roberts
Peter Burns
Karen Dahlman
Susie Dymoke
Ralph Ferro
Sharon Smith

ABSENT:

None

STAFF PRESENT:

Planning Director, Stacey Bridge-Denzak; Economic Development Director, Steve Prokopek; Town Engineer, Mark Milstone; Planning Clerk, Samantha Gesell.

Chairperson Cross called the meeting to order and led the group in the pledge of allegiance.

ITEM #1 **APPROVAL** of the **JOINT PLANNING AND ZONING COMMISSION** and **ECONOMIC DEVELOPMENT REVIEW BOARD MEETING MINUTES** dated **MARCH 13, 2023**.

Commissioner Ferro **MOVED TO APPROVE** the Joint Planning and Zoning, and Economic Development Review Board meeting minutes. **SECONDED** by Commissioner Dymoke. **CARRIED**, 7-0.

ITEM #2 **DISCUSSION** and **POSSIBLE ACTION** on a request for:

CASE #: 21-02-MS

APPLICANT: Mr. Victor Sidy
Victor Sidy Architects
2300 E. Utopía Rd.
Phoenix, AZ 85024

OWNER: Mr. & Mrs. Tony and Annie Sciacca
11268 Dina Drive
Bruce Township, MI

CASE LOCATION: 6360 E. Arroyo Road
Carefree, AZ 85377
APN: 211-28-130

ZONING: Rural-70 Single Family Residential
70,000 square feet minimum lot size

REQUEST: Requesting approval of a single-family residence in a Mountainside Zoning District overlay.

Planning Director, Stacey Bridge-Denzak presented details of the Mountainside Case and responded to questions.

There was no public comment.

Vice Chairperson Roberts **MOVED TO APPROVE** the request for approval of a single family residence in a Mountainside Zoning District overlay, with the following conditions:

EXHIBIT "A"
CONDITIONS FOR APPROVAL
DRB Case #21-02-MS
6360 East Arroyo Road, Carefree
Maricopa County Tax Parcel #211-28-130

1. All plans submitted to the Building Department for a building permit shall be consistent with the plans associated with this application and attached to this report as well as the conditions approved by the Development Review Board on April 10, 2023. Any modifications to submitted plans shall require DRB approval.
2. The granting of this Mountainside application shall be null and void if the building permit is not issued within one (1) year of approval.
3. The development requires sewer service by Liberty Utilities (Black Mountain Sewer Corporation); it may not be an on-site septic system. Extension of the existing service shall be the sole responsibility of the property owner. Any on-site disturbance will require revegetation approved by the Development Review Board.
4. All retaining walls and/or site walls shall be designed consistent with the plans associated with this application and attached to this report, and according to Section 10.06 *Walls and Fences* of the Carefree Zoning Ordinance. This includes proposed wall finishes. No wall shall extend more than 6" above the top of a retaining wall. Open railing is permitted.

5. Driveway grading shall be designed consistent with the plans associated with this application, as attached to this report, and according to Section 10.06 *Site Disturbance and Driveways* of the Carefree Zoning Ordinance.
6. Exterior lighting shall meet all provisions of Article IX, Section 9.12.
7. Landscaping shall meet all provisions of Article IX, Section 9.13.

SECONDED by Commissioner Dymoke. **CARRIED**, 7-0.

ITEM #3 **REVIEW** and **DISCUSSION** related to the General Plan Update process as lead by Matt Klyszeiko, Michael Baker International, to include soliciting feedback on the preferred structure of the Plan's vision statement and organizational structure and providing instructions on completing a *Goal Comment Matrix*.

Matt Klyszeiko with Michael Baker International presented and solicited feedback from the Commission regarding the structure of the General Plan's Vision Statement and organizational structure. Mr. Klyszeiko responded to questions and comments from the Commission.

ITEM #4 **REVIEW** and **RECOMMENDATION** of the 2023-24 Economic Development Work Plan.

Steve Prokopek, Town of Carefree Economic Development Director provided an overview of the Work Plan.

Commissioner Smith **MOVED TO APPROVE** a **RECOMMENDATION** to Town Council for their consideration of the 2023-2024 Economic Development Work Plan. **SECONDED** by Vice Chairperson Roberts. **CARRIED**, 7-0.

ITEM #5 ANNOUNCEMENTS

There were no announcements.

ITEM #6 ADJOURNMENT

Commissioner Ferro **MOVED TO ADJOURN**. **SECONDED** by Commissioner Dahlman. **CARRIED**, 7-0.

The meeting was adjourned at 6:59 p.m.

PLANNING AND ZONING COMMISSION

Samantha Gesell

Samantha Gesell, Planning Clerk
April 11, 2023.



Development Review Board - STAFF REPORT

MEETING DATE: May 1, 2023

Agenda Item # 2

SUBJECT Site Plan, Case No. 21-18-SP

REQUEST This is a request for Site Plan approval of the new headquarters for Carefree Spirits Distillery, a retail use, on approximately 1 acre as permitted in Commercial (C) zoning. The distillery will include the company's main offices, an area for proofing, blending, and bottling, a tasting room, a retail space, and limited event rooms. The distillery will be very attractive and compatible with surrounding uses, and it will generate revenues for the Town of Carefree as well as support the tourism aspect of Town Center.

Key Items for Consideration:

- The subject parcel ("Site") is .93 acres (40,488 square feet) located on the west end of Town at the Carefree/Cave Creek jurisdictional boundary.
- Proposed: A 2-story distillery complex to include tasting rooms and retail space, business administration, and a production area to include storage of materials. The gross floor area is approximately 14,577 square feet with a footprint of approximately 8,563 square feet.
- The distillery will provide revenues to the Town through its retail sales and food service, generate jobs in Carefree, and stimulate the town's local economy by drawing visitors to Town Center.
- Scopa Trail will be realigned to allow for a more level and larger service area for truck deliveries and trash removal service.
- A total of 85 parking spaces serves the establishment, which includes adjacent office complex spaces per an existing shared parking agreement.
- The building is designed with high quality materials, contextual colors, and a contemporary feel that blends well with the character of the area.
- Landscaping is consistent with a native desert palette and includes the extension of the existing pathway system located to the east along Cave Creek Road.
- The site drains from east to west ultimately flowing into the adjacent wash just east of Scopa Trail. Roof runoff will be conveyed via roof scuppers into the same wash.
- The site will be served by the Carefree Water Company for water and Liberty Utilities for sewer.

APPLICANT INFORMATION Applicant and Owner
Mrs. Renea McQuiggan, Founder and President
Carefree Spirits Distillery
35303 North 98th Street
Scottsdale, AZ 85262

Civil Engineer
Mr. George Everland, P.E.
Everett Alan Group
6300 East Cave Creek Road, Suite 202

DRB – STAFF REPORT

Case No. 21-18-SP

Cave Creek, AZ 85331

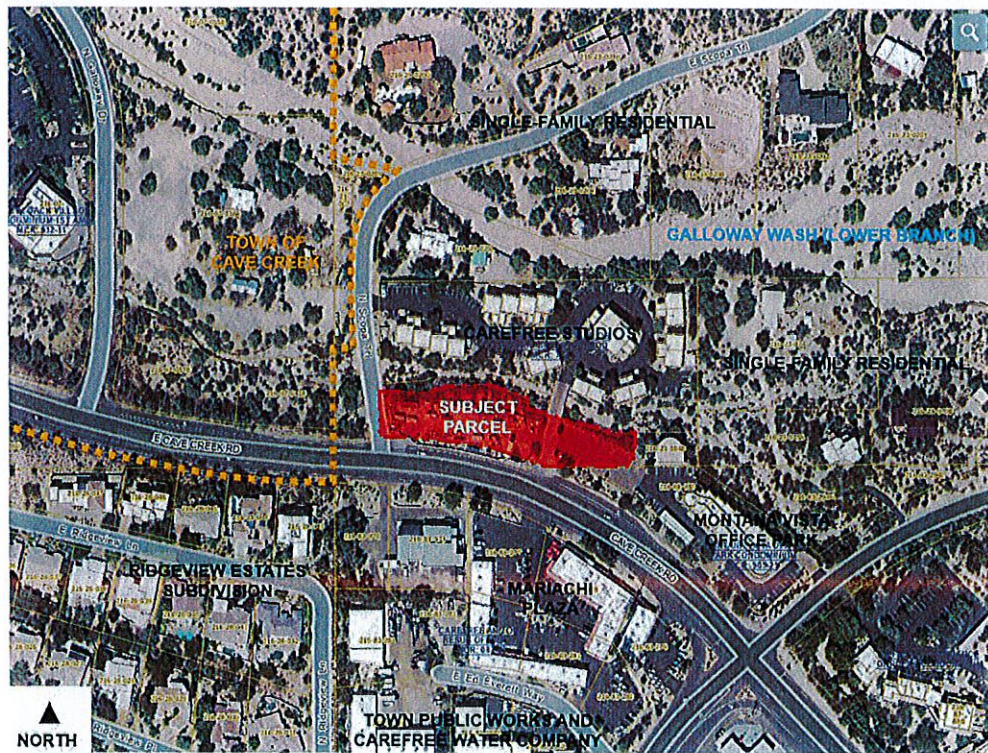
Architect:

Mr. August Reno
August Reno Architects, LLC
37417 Tom Darlington Drive
Carefree, AZ 85377

LOCATION/ CONTEXT

The Site is located to the west of Carefree Town Center along Cave Creek Road to the Town's border. Specifically, it is the Northeast corner of Cave Creek Road and Scopa Trail. The property is in the Commercial (C) Zoning District as well as all surrounding properties. A retail use is permitted at this parcel under Commercial zoning.

Aerial Context Map



Source: Maricopa County Assessor, 2023

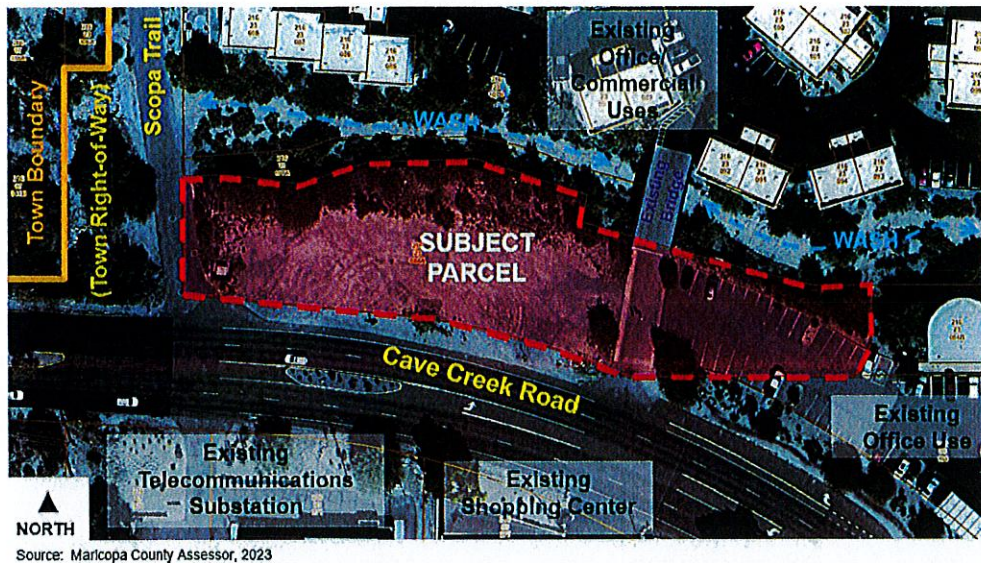
LAND USE

Existing Use: The Site is currently an undeveloped/vacant parcel and located at the edge of Town Center. Contextually it sits amongst nonresidential uses such as office condominiums and a commercial center. Immediately north of the parcel is a significant wash and Carefree Studios; to its south and west is Carefree rights-of-way (Cave Creek Road and Scopa Trail), and to its east is Montana Vistas, an office complex including shared parking spaces. Beyond Scopa Trail is the Town of Cave Creek, where a future multifamily development is proposed. The subject site is currently disturbed and being used as a staging site for the water consolidation project. There are some desert plants, but it is limited. Vegetation is comprised of desert species including Palo Verde and Mesquite trees, desert shrubs, and assorted invasive materials. The site is mainly level but does drop in elevation from

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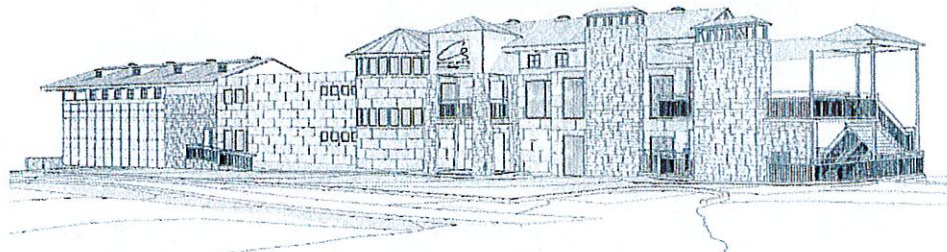
Case No. 21-18-SP

east to west.



REQUEST

Project Summary: Owners Renea and Mike McQuiggan began their distilling business as a hobby utilizing corn from the family farm. Today, Carefree Spirits Distillery has received several industry awards for their bourbons and vodkas and has an online marketplace that reaches 41 states. The McQuiggan's decided it was time to build their headquarters for this expanding business and chose Carefree.



Positive impacts to the Town of Carefree include a one-time construction sales tax revenue of approximately \$565,000. Other contributions include employment, increased tourism, on-site retail sales tax revenue, and added economic activity near Town Center.

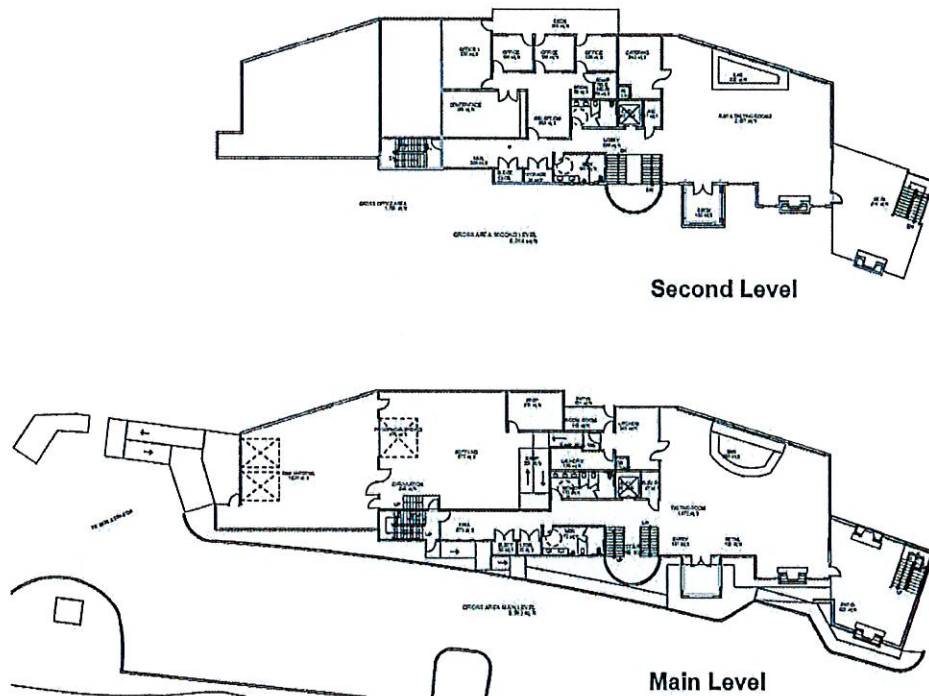
Carefree Spirits Distillery will be a unique compilation of uses: 1) tasting rooms and retail store; 2) administrative offices and support spaces; and 3) storage of mixing materials and production. Specifically, patrons enter at the main entry on the lower level, where they may shop, share a bite of food while tasting various products, and/or observe the bottling and production side of the business. The Distillery's proposed development includes a two-story structure with a gross floor area of approximately 14,577 square feet. The main entrance to the facility is off of existing Cave Creek Road with an exit only and service area location facing Scopa Trail. Scopa Trail will be realigned to allow for a larger and more level service area. The existing roadway system, including capacity and turning maneuvers, will likely be sufficient to accommodate the proposed use, and no additional improvements are

DRB – STAFF REPORT

Case No. 21-18-SP

required. The project will be constructed at one time which will include improvements related to Scopa Trail, a pedestrian pathway, and rights-of-way landscaping.

The bottling operations and corporate offices will maintain standard business hours of 8 am to 5 pm Monday through Friday. The bottling facility will perform the proofing, blending, and bottling requirements for the company. The tasting room and retail area will open at noon and close at 9 pm daily. On occasion live music will be available inside the facility avoiding any noise concerns to surrounding buildings.



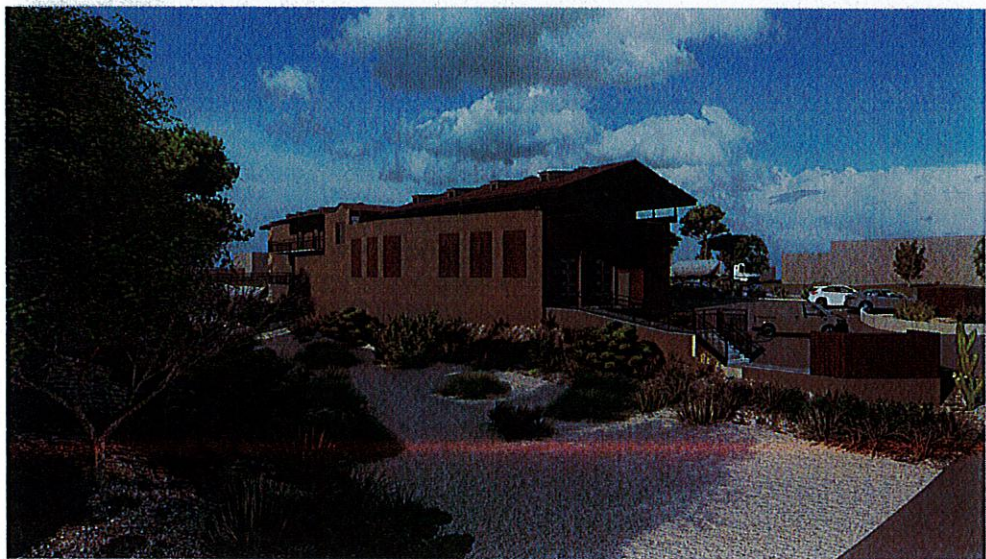
Architecture: The building has been designed with quality aesthetics and materials, 4-sided facade consideration, and is compatible with the surrounding area. The building essentially steps down with the grade at the west end of the bottling area and meets the height requirement of 30 feet per commercial zoning. The overall design style of the building makes an architectural statement yet is unassuming, and will add to the legacy of Carefree architectural quality. Familiar materials such as painted stucco of desert hues, stone, and rusted steel are used throughout the building to complement and work with the adjacent buildings. Outdoor patios will capture scenic views in all directions for enjoyment during the seasonal months. The building will be environmentally friendly by using materials, products and building systems with the goal of obtaining a “Gold” rating or higher from the United States Green Building Council (USGBC) LEED rating system, and be ADA accessible.

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Case No. 21-18-SP



While a monument sign is shown in the illustration, there will be only one wall-mounted sign on the building that complies with the Town's Zoning requirements. There will not be a freestanding sign.

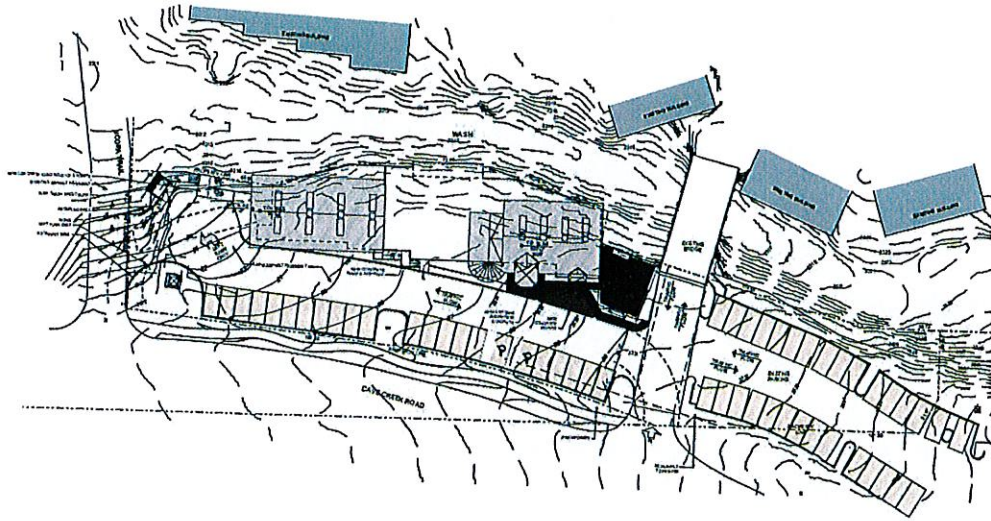


Building setbacks meet the required development standards found in the Zoning Ordinance of 10 feet for front yard (which includes both Cave Creek Road and Scopa Trail), 0 feet side and rear yards.

Circulation and Parking: The main public entrance to the facility is off of Cave Creek Road, which includes a pickup/drop off space for ridesharing opportunities at the front door. An access is proposed at Scopa Trail, which restricts entry to only service vehicles such as delivery and trash trucks and/or emergency vehicles. Visitors may exit onto Scopa Trail. However, this access point will be signed with "exit only" and "left turn only" to ensure only left turn movements are permitted. The design of the main parking lot is at the front of the building and includes two way traffic movements. This will also help reduce vehicles from using Scopa Trail. Furthermore, the Scopa Trail roadway alignment will shift west within the limits of the Town's right-of-way to allow for a more gradual grade at the service area and more space to accommodate larger delivery truck functions.

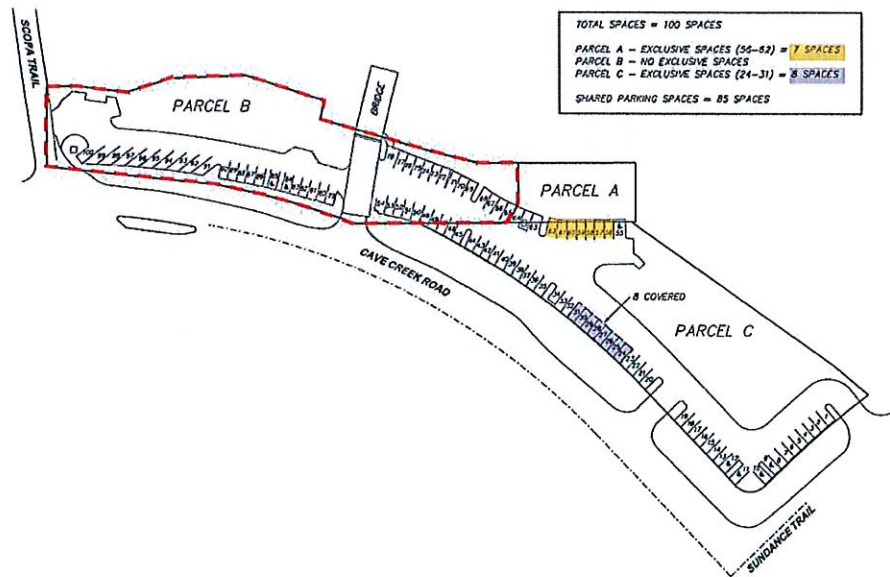
DRB – STAFF REPORT

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▲
NORTH

A commercial building typically requires 1 parking space per 250 gross floor area. Due to the unique nature of the Distillery's operations, additional spaces were added to reflect the restaurant/bar aspect of the facility. A total of 85 spaces (versus the required 58) are proposed, which includes 21 new spaces on the subject site. Valet service will be employed if/when large tasting events are held, which are restricted to weekends and/or evenings only and a maximum guest limit of 200 people.



▲
NORTH

The trash enclosure is proposed within the service area with easy access at Scopa Tail. The enclosure will be in concert with the design of the building.

A new pedestrian existing pathway along Cave Creek Road will be included with the development.

DRB – STAFF REPORT

Case No. 21-18-SP

Landscape and Screening: Limited salvageable material was available due to the extensive disturbance to the property. A conceptual landscape plan was submitted with the application that looks to plant new material at the front of the building and at the roadways. A final landscape plan will be required at the time of the building permit. In keeping with landscape guidelines, the landscape plan incorporates drought-tolerant and native plants into the site to complement the architecture. The loading area and dumpster enclosure are designed and screened according to Zoning requirements.

Lot Coverage and Lot Disturbance: The maximum lot coverage allowed in the Commercial zoning district is 60%; the project proposes 21.5%. The maximum lot disturbance allowance is 100%; the project proposes approximately 100%.

Lighting and Signage: All lighting (building and site) shall comply with Carefree Zoning Ordinance Section 9.12 Exterior Lighting, and shall be consistent with Town Center standards. Signage shall meet the requirements of Section 8, Signs Permitted. There will not be a monument sign on this parcel.

Utilities and Public Services: Fire protection will be provided by Rural Metro, who has reviewed the plans. Sewer service is provided by Liberty Utilities/Black Mountain Sewer. Water service is provided by the Carefree Water Company. Water demand does not include the water used in the mixing and bottling process, and therefore will not impact the Carefree Water Company more than expected for a retail use. Natural gas is provided by Southwest Gas and power is provided by APS. Each utility is currently located within the Town's rights-of-way.

Grading and Drainage: The existing site is mostly disturbed subgrade with moderate desert vegetation; the site slopes from east to west and is bounded by a wash (unnamed waterway) with an estimated flow rate of 1,345 cubic feet per second (cfs). The wash is conveyed further downstream from the site by two existing 78-inch diameter CMP'S crossing under North Galloway Drive. The parking lot has been designed to slope east to west at approximately 3% with a maximum slope of 12% where it exits the site and flows into the wash just east of Scopa Trail. The parking lots and drives will be paved. The building roof areas slope to the north where the roof drainage will be conveyed by roof scuppers and downspouts directly to the wash.

Due to the flow rate, an erosion hazard setback line shall be applied to this project based on the Town's policy. Structures proposed within these defined erosion control setbacks are protected by existing retaining walls to the east & west of the proposed buildings. Where the new building is to be constructed any existing retaining walls will be removed and the north side building walls will be designed as retaining building walls as lateral erosion protection. Those designs will be provided by the Architect's structural engineer and will be designed to comply with scour depth requirements of 4.5' below the channel bottom, unless otherwise dictated by a Geotechnical Report.

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Case No. 21-18-SP

The Town Engineer has approved the conceptual plans. A final grading and drainage plan and drainage report are required at the Building Permit review.

PUBLIC INPUT

The applicant held the required Neighborhood Meeting on January 6, 2022 and presented the proposal to the attendees. 9 people attended the meeting including Carefree staff and the applicant's team. Several issues related to traffic, parking, noise and odor from the bottling operations, water use, building height, and landscaping and lighting were raised. Most concerns were addressed to the satisfaction of the attendees. However, one still felt that any access onto Scopa Trail was not acceptable.

Staff took that into consideration and together with the applicant agreed to redesign the parking lot to two-way circulation (originally the plan was one-way circulation heading west) thereby encouraging vehicles to enter and exit at Cave Creek Road. This main access point will likely be used a majority of the time as it is a full movement "intersection".

DRB

If the Development Review Board approves this application, the attached Conditions for Approval are provided for the Board's consideration.

Attachments:

- Exhibit A. Conditions for Approval
- Narrative (Comment Letter)
- Conceptual Site Plan
- Conceptual Hardscape Plan
- Conceptual Landscape Plan
- Preliminary Grading and Drainage Plan
- Parking Exhibit
- Building Elevations and Materials
- Floor Plans
- Citizen Participation Report

EXHIBIT A

CONDITIONS FOR APPROVAL

Case No. 21-18-SP

Maricopa County

Tax parcel # 216-23-084A

1. The Building Permit submittal documents shall be consistent with all applicable Carefree zoning standards except as expressly stated herein, and shall substantially conform to the Site Plan, Landscape Plan, Grading and Drainage Plan, Floor Plans, Elevations, and Color/Materials Palette as approved on May 1, 2023, and included in this report.
2. A building permit must be obtained within twelve (12) months of Site Plan approval unless an extension is granted by the Zoning Administrator.
3. The design of the wall sign shall be finalized at the time of the Building Permit approval. The sign shall utilize colors and materials to match the building.
4. The trash enclosure screen walls shall not exceed a height of 6 feet and the enclosure shall be gated. Materials and color will match those used on the main building.
5. The owner shall maintain all on-site and adjacent right-of-way landscaping.
6. The final landscape salvage quantities will be determined on the Landscape Plan submitted with the Building Permit.
7. Within 30 days of the issuance of the Building Permit or prior to scheduling the required pregrade inspection (whichever is sooner), the permit applicant or designee shall provide the Town of Carefree Planning and Zoning Department with an electronic copy (PDF) of the Site Plan, Grading and Drainage Plan, Drainage Report, Landscape Plan and Elevations as approved in the construction document set.
8. Realignment of Scopa Trail shall require separate construction documents reviewed and approved by the Town Engineer. All costs associated with this work, including design and installation shall be the sole responsibility of the applicant.



March 2023

7200 E Cave Creek Rd Carefree Arizona

COMMENT LETTER

Carefree Spirits Holdings LLC and Carefree Spirits Distillery are proposing to develop the Northeast Corner of Cave Creek Rd and Scopa. Attached are the documents being submitted for Final Site Plan review and approval for this commercially zoned "C" lot. The gross area of the lot is 40,488 sq ft or .929 acres. With the building size of 14,577 sq ft or 36% of the lot size.

This structure is divided into three unique areas; the entry/tasting room/retail store and patios as one area; the administration of the building/essentials of a building as the second area; the storage work room, production of the product and bottling line as the third area.

- FIRST FLOOR: 8,563 SQ FT
 - Entry
 - Tasting room/bar
 - Outdoor patio Tasting
 - Small prep kitchen
 - Small retail area for sales of product
 - Restrooms
 - Elevator
 - Stairway to second floor
 - Observation area to view Bottling/Production
 - Utility rooms/mechanical/electrical/security
 - Employee break room/outdoor patio
 - Laundry
 - Prep Area
 - Bottling area
 - Proofing/Blending area

- Raw material work area
- SECOND FLOOR: 6,014 SQ FT
 - Bar and Tasting room #2
 - Outdoor Deck Tasting
 - Catering prep kitchen
 - Elevator
 - Restrooms
 - Stair to first floor
 - Administrative Offices/deck
 - Utility Rooms/Mechanical/Electrical/Security

The goal of the architecture is to fit in and relate to the architecture of the Town of Carefree and the adjacent buildings. The quality of design, materials, and systems will radiate confidence, unassuming, but modest in many ways and add to the legacy of Carefree. Desert tone colors and materials have been carefully selected. The use of similar materials such as stucco, stone, and steel are used throughout the building to complement and work with the adjacent buildings. The colors will be the combination of a beige, “Baked Cookie” and of a rusted steel, “Umber Rust” for the stucco by Sherman Williams paint and steel elements of the building. This color palette represents the community and that of the Carefree Spirits Distillery.

The building will cover less than 40% of the land area and comply with the Town’s Zoning Ordinance Requirements for height at 30’ and will be ADA accessible.

The main entrance and exit for the property is existing off Cave Creek Rd. On the east side of the existing driveway are 64 parking spaces available for the property. There will be 21 new parking spaces including 2 handicap spots along the front of the building. This gives a total of 85 parking spaces available. The attached **Exhibit A** shows the detail calculation of the parking requirements 82 and map of the shared parking spaces.

The plans allow two-way traffic flow in front of the building. A second driveway for exiting will be on west end of the property onto Scopa. “Left Turn Only” signs will be at the exit along with “Exit Only – Do Not Enter” signs off the Scopa driveway exit. After discussion with the Town staff it was decided to Move Scopa to the west approximately 20’. This will remove Scopa from the sites property line and allows for a more gradual grade from a current 12% grade to a 7% grade.

The building will be environmentally friendly using material, products and systems and will strive to obtain a “Gold” rating or higher from the green building council.

This will include use of water; heat and air conditioning; lighting/power; and landscaping.

All proposed lighting and signage will meet the Town's Zoning Ordinance requirements. The light fixtures for the exterior of the building will be recessed lights either pointing up or down. The light source will not be seen with these fixtures and will highlight the building. No light fixture will be mounted higher than 16' or spill light onto adjacent lots. All lighting will comply with the Dark Sky requirements.

The signage will include one 10'x15' building sign above the entrance to the building.

The Distillery Bottling facility and the corporate offices will maintain standard business hours of 8 am to 5 pm Monday thru Friday. The bottling facility will perform the proofing, blending, and bottling requirements for the Company. The Tasting Room and Retail area will open at noon and close at 9 pm daily. On occasion live music will be available inside the facility avoiding any noise concerns of surrounding buildings. Attached **Exhibit B** shows the Occupancy Calculations for the building. Any private events or meetings will be limited to the Second floor, will be held on weekends or evenings when the other businesses are closed and will be limited to less than 200 people. A valet service will be on contract to accommodate parking.

EXHIBIT A



CAREFREE SPIRITS
Distillery

Parking Calculations

First Floor

Bar/Tasting	$2206\text{sf} / 100 = 22$ spaces
Retail	$106\text{sf} / 250 = 1$ space
Bottling/Blending	
Materials	$2956\text{sf} / 250 = 12$ spaces
Deck	$821\text{sf} / 100 = 8$ spaces
Total First Floor	43 spaces

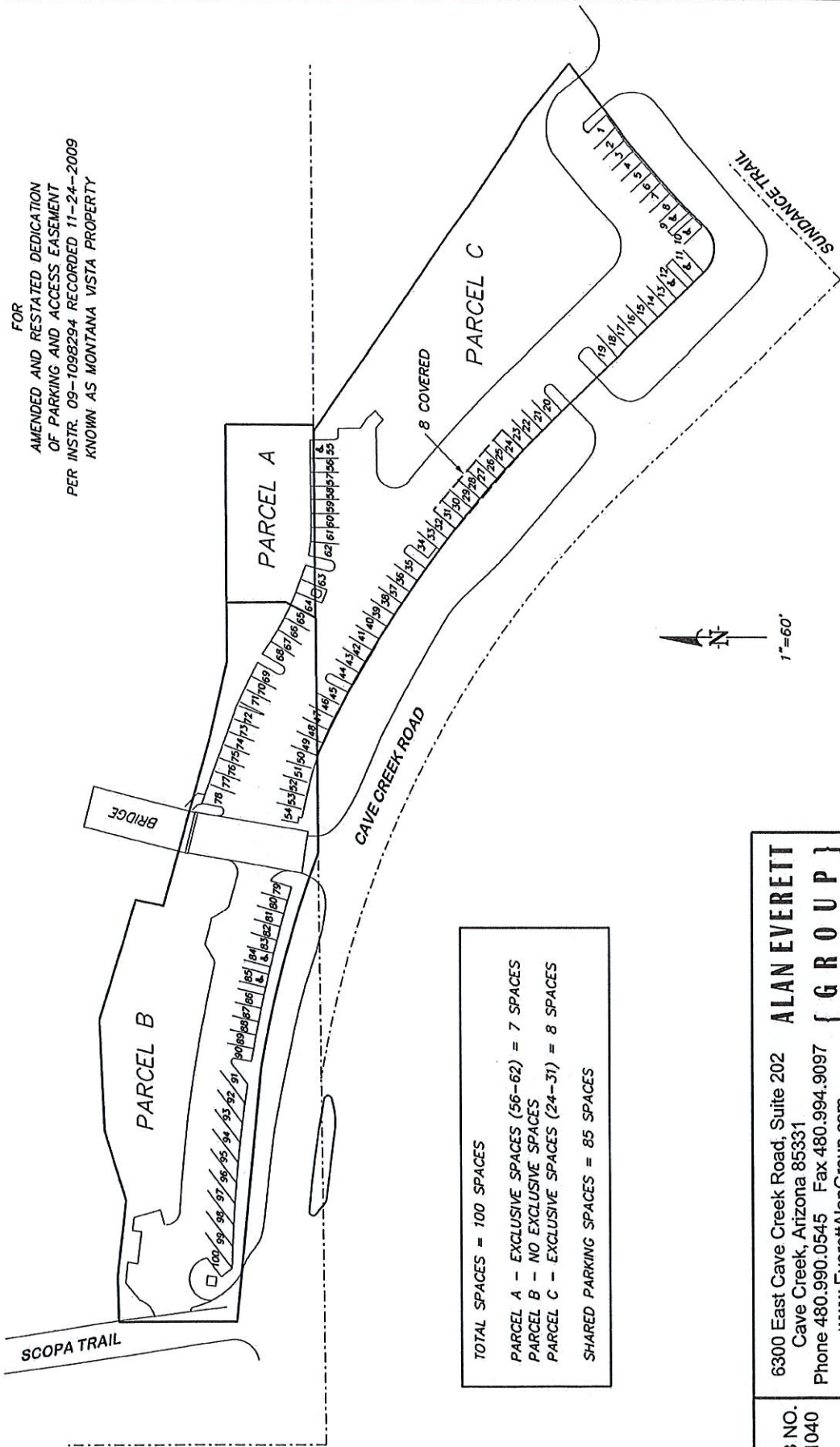
Second Floor

Office	$1384\text{sf} / 250 = 6$ spaces
Bar/Tasting	$2469\text{sf} / 100 = 25$ spaces
Deck	$814\text{sf} / 100 = 8$ spaces
Total Second Floor	39 spaces

Total building requirement **82 spaces**

PARKING EXHIBIT

FOR
 AMENDED AND RESTATED DEDICATION
 OF PARKING AND ACCESS EASEMENT
 PER INSTR. 09-1098294 RECORDED 11-24-2009
 KNOWN AS MONTANA VISTA PROPERTY



TOTAL SPACES = 100 SPACES
 PARCEL A - EXCLUSIVE SPACES (56-62) = 7 SPACES
 PARCEL B - NO EXCLUSIVE SPACES
 PARCEL C - EXCLUSIVE SPACES (24-31) = 8 SPACES
 SHARED PARKING SPACES = 85 SPACES

ALAN EVERETT
 6300 East Cave Creek Road, Suite 202
 Cave Creek, Arizona 85331
 Phone 480.990.0545 Fax 480.994.9097
 www.EverettAlanGroup.com

JOB NO.
 211040

EXHIBIT B



Occupancy Calculations

First Floor

Tasting	$2270\text{sf}/15=151$
Kitchen	$243\text{sf}/200=1$
Blending/Bottling	$1802\text{sf}/200=9$
Material storage	$1630\text{sf}/500=3$
Accessory	$595\text{sf}/300=2$
Patio	$821\text{sf}/15=55$
Total First Floor Occupancy	221

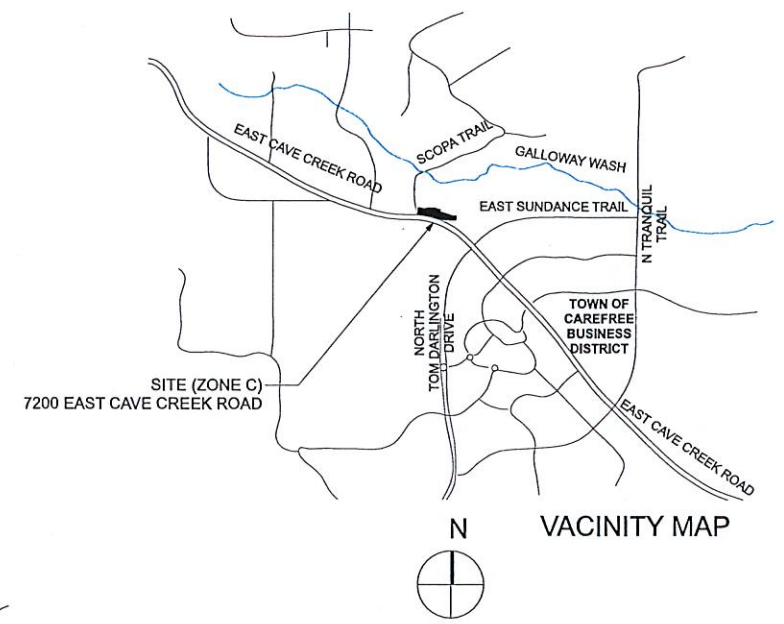
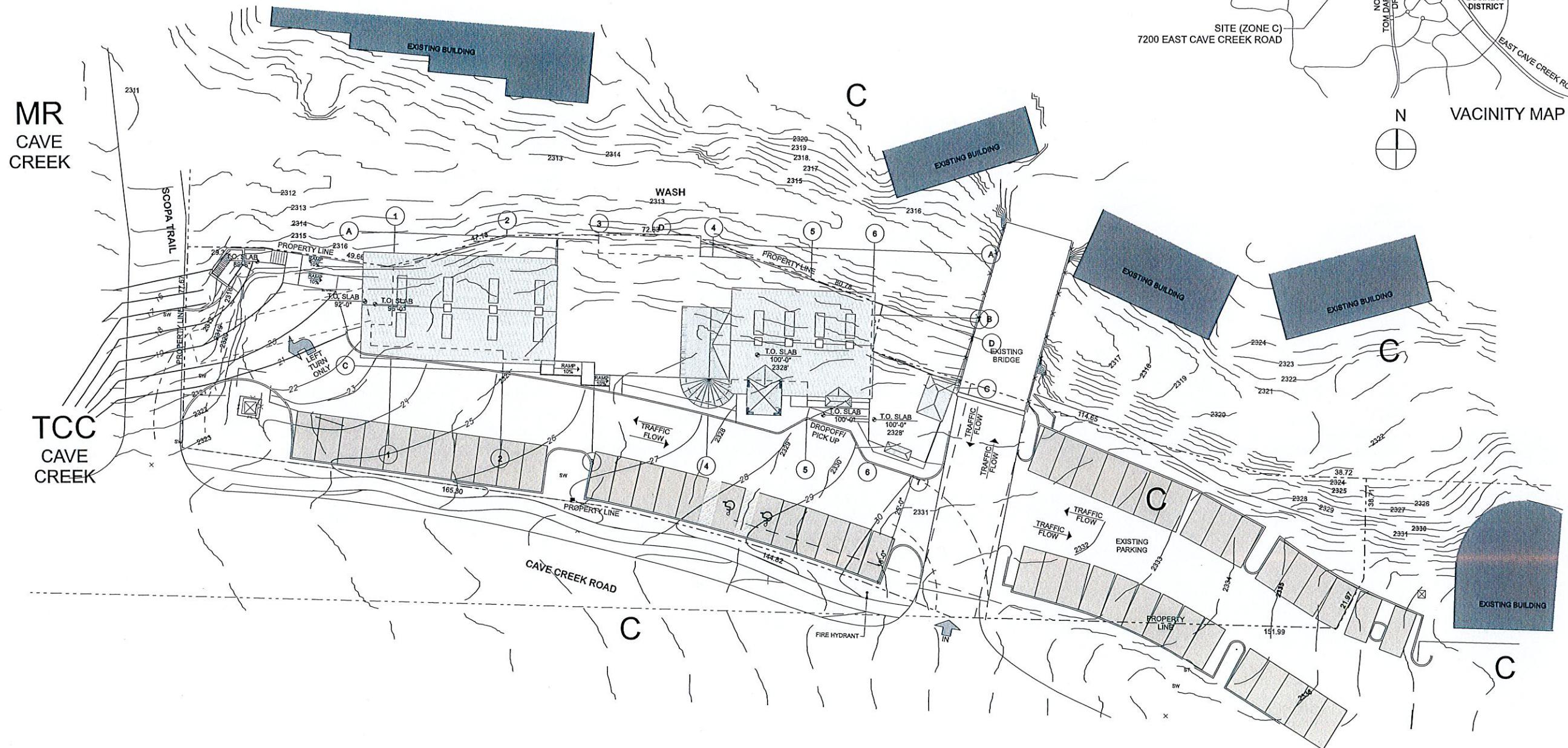
Second floor

Tasting	$2037\text{sf}/15=136$
Kitchen	$243\text{sf}/200=1$
Office	$1740\text{sf}/150=12$
Accessory	$1094\text{sf}/300=4$
Patio	$946\text{sf}/15=63$
Total Second Floor Occupancy	216

Total Occupancy **437**

ZONING

MR = MULTI FAMILY (CAVE CREEK)
 TCC = TOWN COMMERCIAL CORE (CAVE CREEK)
 C = COMMERCIAL (CAREFREE)



ISSUED FOR:
 SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

REVISION:
 ▲
 ▲
 ▲
 ▲

PROJECT NO: 1462
 DRAWN BY: SD
 CHECKED BY: AR
 ISSUE DATE: 3/25/23 1:14 PM
 COPYRIGHT ©ARA 2021

CAREFREE SPIRITS DISTILLERY
 7200 EAST CAVE CREEK ROAD
 CAREFREE, AZ



7710 East Evening Glow Drive
 Scottsdale, AZ 85266
 (970) 618-9352
 WEB SITE: www.augustreno.com
 EMAIL ADDRESS: augie@augustreno.com

Architecture:
 PROPOSED SITE PLAN

SHEET NO:

A.0.01



SITE PLAN 1
 SCALE: 1" = 20'

ISSUED FOR:
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

REVISION:
△
△
△
△

PROJECT NO: 1402
DRAWN BY: SD
CHECKED BY: AR
ISSUE DATE:
3/25/23 1:14 PM
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CAREFREE SPIRITS DISTILLERY
7200 EAST CAVE CREEK ROAD
CAREFREE, AZ



7710 East Evening Glow Drive
Scottsdale, AZ 85266
(970) 618-9352
WEB SITE
www.augustreno.com
EMAIL ADDRESS
augie@augustreno.com

Architecture:
PROPOSED HARDSCAPE PLAN

SHEET NO:
A.0.02

**CAREFREE SPIRITS DISTILLERY
OCCUPANCY CALCULATIONS**

FIRST FLOOR	
TASTING	2270SF/15=151
KITCHEN	243SF/200=1
BLENDING/BOTTLING	1802SF/200=9
MATERIAL STORAGE	1630SF/500=3
ACCESSORY	595SF/300=2
PATIO	821SF/15=55
TOTAL FIRST FLOOR OCCUPANCY	221

SECOND FLOOR	
TASTING	2037SF/15=136
KITCHEN	243SF/200=1
OFFICE	1740SF/150=12
ACCESSORY	1094SF/300=4
PATIO	946SF/15=63
TOTAL SECOND FLOOR OCCUPANCY	216

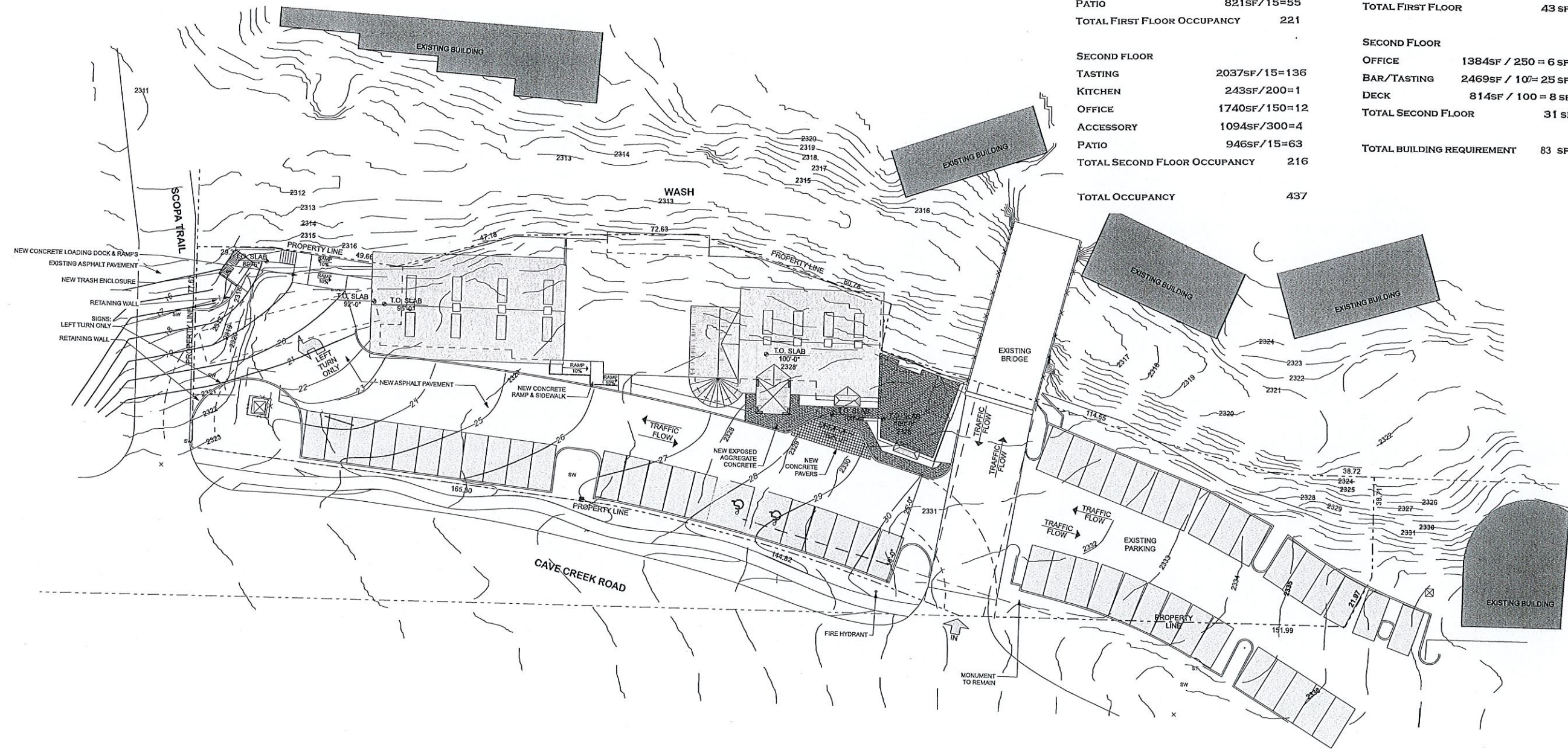
TOTAL OCCUPANCY 437

**CAREFREE SPIRITS DISTILLERY 100
PARKING CALCULATIONS**

FIRST FLOOR	
BAR/TASTING	2206SF / 100 = 22 SPACES
RETAIL	106SF / 250 = 1SPACE
BOTTLING/BLENDING	
MATERIALS	2956SF /250 = 12 SPACES
DECK	821SF /100 = 8 SPACES
TOTAL FIRST FLOOR	43 SPACES

SECOND FLOOR	
OFFICE	1384SF / 250 = 6 SPACES
BAR/TASTING	2469SF / 100= 25 SPACES
DECK	814SF / 100 = 8 SPACES
TOTAL SECOND FLOOR	31 SPACES

TOTAL BUILDING REQUIREMENT 83 SPACES



LANDSCAPE LEGEND

- ⊙ BLUE PLUMBAGO
- G MEXICAN EVENING PRIMROSE, LANTANA, YELLOW DOT, ANGELITTA DASY COMBINATION
- △ BOUGAINVILLEA
- ⊕ VERIGATED LANTANA
- ✱ OCOTILLO
- ✱ AGAVE
- ☀ GOLDEN BARREL CACTUS
- ↓ SAGUARO
- ⊗ RED HIBISCUS
- ⊙ DESERT SPOON
- ✱ TEXAS SAGE
- ⊗ POTATO VINE
- ⊗ EXISTING TREE TO REMAIN
- ⊗ BOULDERS, MINIMUM 36"

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NOTE:
1. ALL LANDSCAPE AREAS TO HAVE A COMPLETE DRIP IRRIGATION SYSTEM
2. EXISTING TREES, BUSHES TO BE REMOVED UNLESS NOTED (NORTHWEST CORNER OF THE PROPERTY VEGETATION IS ON FILL & TO BE REMOVED)
3. ALL LANDSCAPE GROUND COVER, SHRUBS, ETC. TO BE MINIMUM 5 GALLON. ALL TREES SAGUAROS TO BE MINIMUM 24" BOX

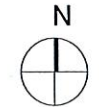
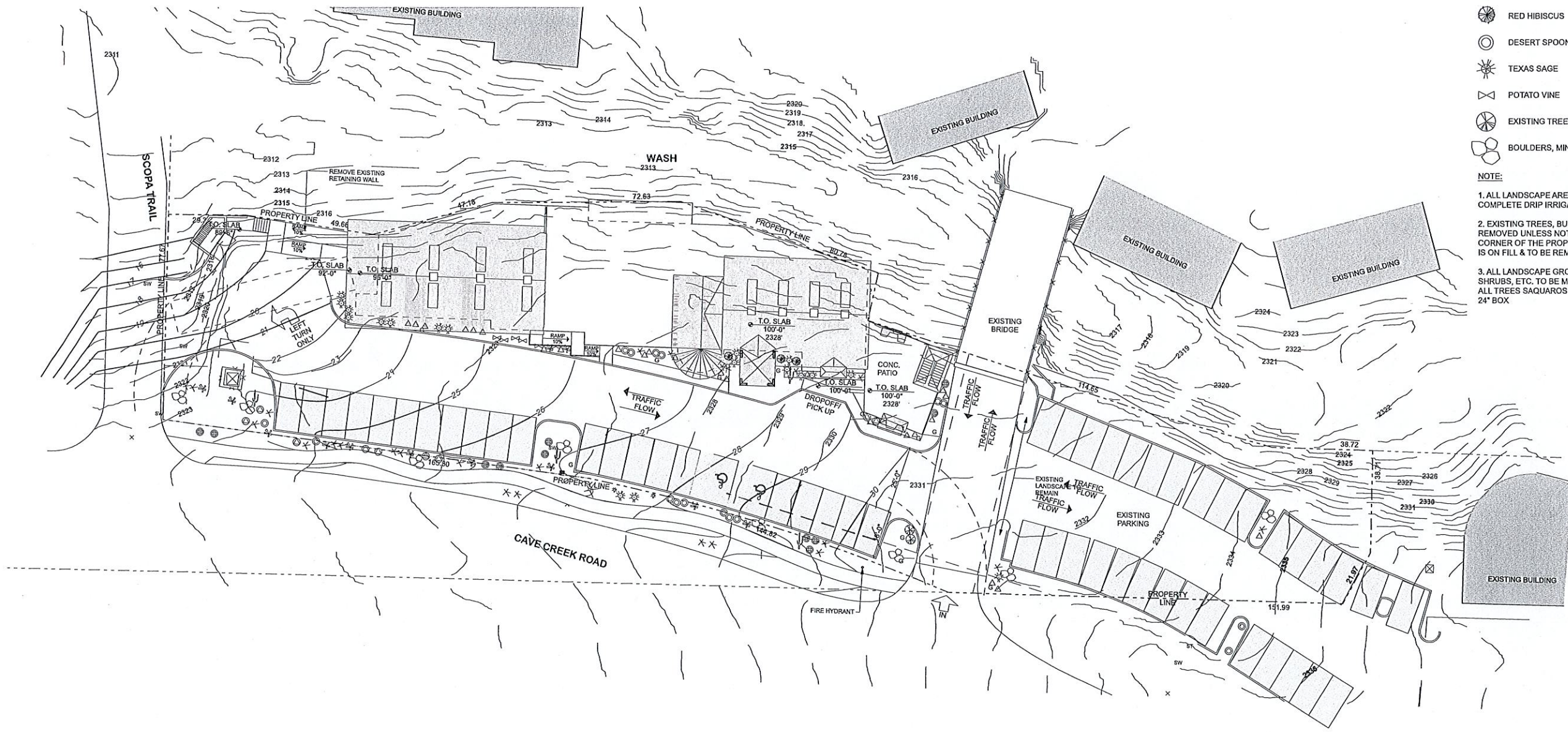
CAREFREE SPIRITS DISTILLERY
7200 EAST CAVE CREEK ROAD
CAREFREE, AZ

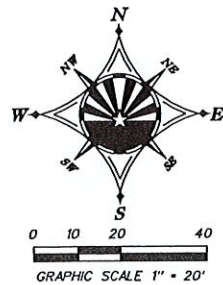


7710 East Evening Glow Drive
Scottsdale, AZ 85266
(970) 618-9352
WEB SITE: www.augustreno.com
EMAIL ADDRESS: augie@augustreno.com

Architecture:
PROPOSED LANDSCAPE PLAN

SHEET NO:
A.0.03





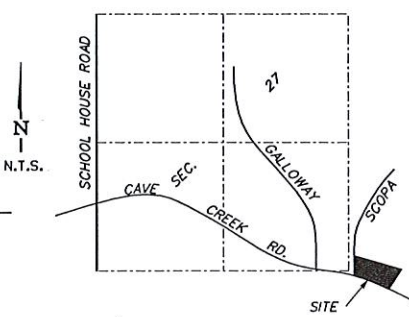
NOTES

1. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL EASEMENTS OF RECORD.
2. BEARINGS ARE BASED ON A LINE BETWEEN GDACS DESIGNATION NR06 AND 1LH3 WHICH BEARS NORTH 70 DEGREES 02 MINUTES 53 SECONDS EAST.

LEGAL DESCRIPTION

LOT 3, OF LOT SPLIT, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 766 OF MAPS, PAGE 14.

VICINITY MAP



CONSTRUCTION NOTES

- 1 NEW MAIN BUILDING
- 2 6" HIGH CONCRETE SINGLE CURB PER MAG STD 222-A
- 3 PARKING SPACE
- 4 HANDICAP PARKING
- 5 TRASH ENCLOSURE W/CONCRETE PAD
- 6 NEW 4" SEWER TAP AND SERVICE LINE
- 7 DOMESTIC WATER LINE FROM EXIST. METER
- 8 LOADING DOCK
- 9 RETAINING WALL (SEE STRUCTURAL PLAN FOR DETAIL)
- 10 REMOVE EXISTING RETAINING WALL
- 11 DELIVERY TRUCK CLEARANCE RADIUS 30' MIN @ 20' WIDTH
- 12 SIGN(S) FOR "NO RIGHT TURN" AND "EXIT ONLY"
- 13 NOT USED
- 14 RETAINING WALL W/RAILING
- 15 INSTALL TAPPING SLEEVE AND VALVE PER MAG STD DET 340
- 16 INSTALL 6" FEBCO LF 860-LG RP2, OR EQUAL, BACKFLOW DEVICE
- 17 2-1/2" SIAMESE FIRE DEPT CONNECTION (FDC) TYPE & MODEL PER BUILDING FIRE SPRINKLER PLAN
- 18 RETAINING WALL/RAISED STEM (SEE ARCHITECTURAL PLAN)
- 19 CONCRETE SLURRY W/LOCAL STONE
- 20 RAILING
- 21 4" FLOOR DRAIN
- 22 4" PVC PIPE
- 23 EXISTING RETAINING WALL TO REMAIN
- 24 2" A.C. ON 6" ABC PAVEMENT
- 25 CONCRETE SIDEWALK
- 26 RE-LOCATE SCOUPA TRAIL
- 27 RE-LOCATE STOP SIGN

LEGEND

- FOUND MONUMENT (TYPE SHOWN)
- PROPERTY LINE
- EXISTING CONTOUR
- SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- SIGN
- POWER POLE
- DOWN GUY
- ELECTRIC TRANSFORMER
- FENCE
- TELEPHONE JUNCTION BOX
- PAVEMENT
- CONCRETE
- OVERHEAD POWER
- MASONRY WALL
- LIMIT OF INUNDATION
- EROSION SETBACK LINE

BENCHMARK

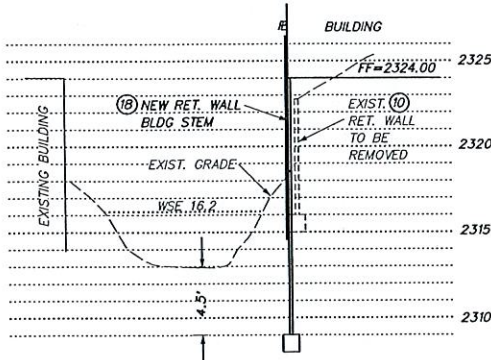
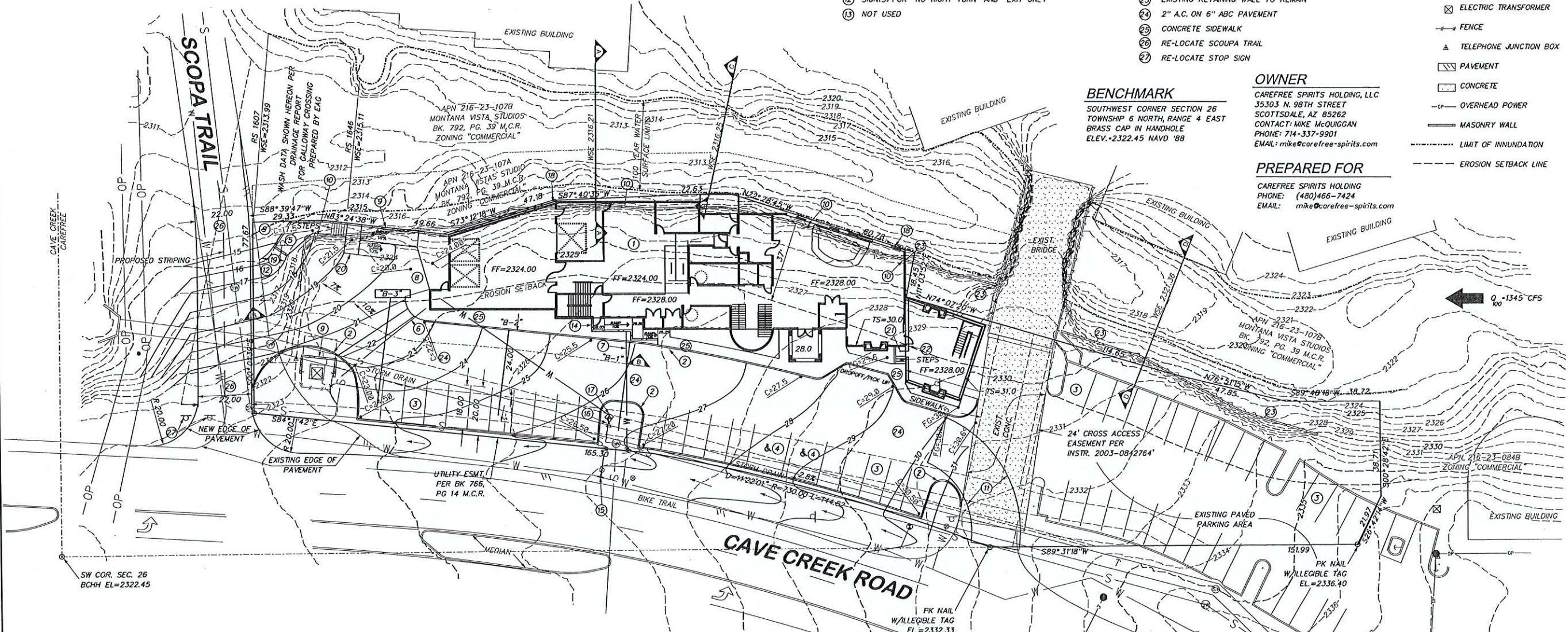
SOUTHWEST CORNER SECTION 26 TOWNSHIP 6 NORTH, RANGE 4 EAST BRASS CAP IN HANDHOLE ELEV. 2322.45 NAVD '88

OWNER

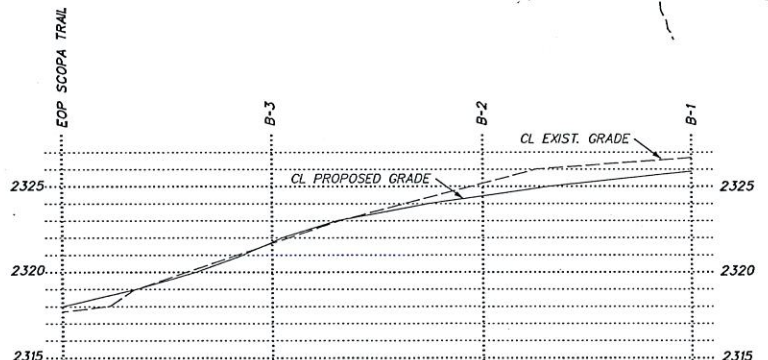
CAREFREE SPIRITS HOLDING, LLC
35303 N. 98TH STREET
SCOTTSDALE, AZ 85262
CONTACT: MIKE McQUIGGAN
PHONE: 714-337-9901
EMAIL: mike@carefree-spirits.com

PREPARED FOR

CAREFREE SPIRITS HOLDING
PHONE: (480)466-7424
EMAIL: mike@carefree-spirits.com



X-SECTION A-A
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



X-SECTION B-B
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

CUT-260 C.Y.
FILL-247 C.Y.
CUT-FILL QUANTITIES UNDER FOOTPRINT

NOTE: FOR ESTIMATING PURPOSES ONLY; ENGINEER MAKES NO WARRANTY OF ACCURACY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT QUANTITIES BASED ON THE PLANS.

SURVEYOR'S CERTIFICATION

I, JAMES A. LOFTIS, HEREBY CERTIFY THAT THE SURVEY PLATTED HEREON WAS MADE UNDER MY SUPERVISION DURING THE MONTH OF APRIL, 2021.



ENGINEER'S CERTIFICATION

ALL FINISH FLOORS SHOWN ON THIS PLAN ARE FREE FROM INUNDATION DURING A 100-YEAR PEAK RUNOFF EVENT IF BUILT IN ACCORDANCE WITH THIS APPROVED PLAN.



PRELIMINARY GRADING PLAN
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 6 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

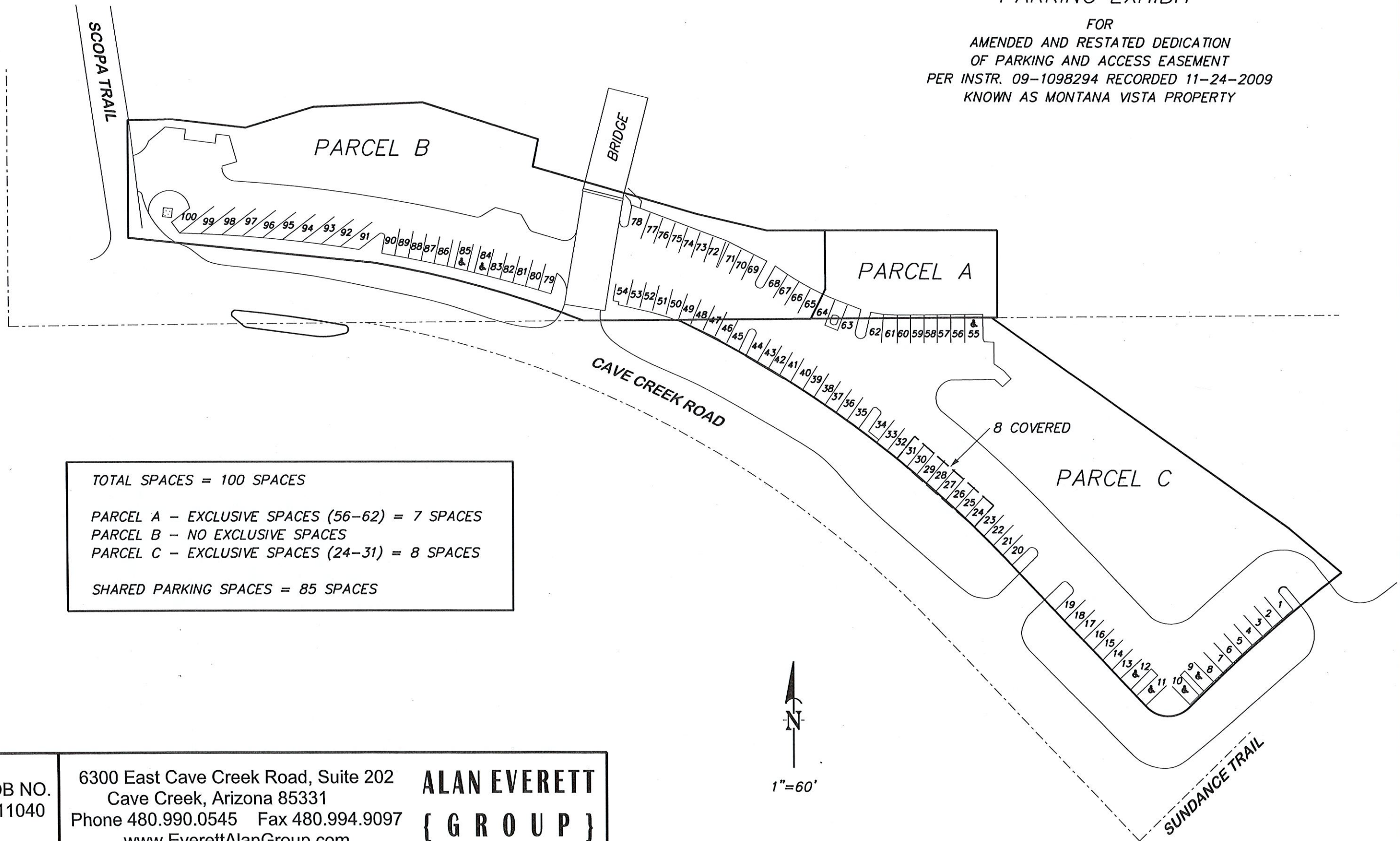


EVERETT ALAN GROUP
4000 CAVE CREEK
WAY 501
CAVE CREEK, AZ 85331
PHONE: (480) 990-5443
FAX: (480) 994-9097
WWW.EVERETLANGROUP.COM

PROJECT NO.
211040
SURVEYOR: J. LOFTIS
CAD TECH: S. LOFTIS
SHEET NO.
1 of 1

PARKING EXHIBIT

FOR
 AMENDED AND RESTATED DEDICATION
 OF PARKING AND ACCESS EASEMENT
 PER INSTR. 09-1098294 RECORDED 11-24-2009
 KNOWN AS MONTANA VISTA PROPERTY



TOTAL SPACES = 100 SPACES
 PARCEL A - EXCLUSIVE SPACES (56-62) = 7 SPACES
 PARCEL B - NO EXCLUSIVE SPACES
 PARCEL C - EXCLUSIVE SPACES (24-31) = 8 SPACES
 SHARED PARKING SPACES = 85 SPACES

JOB NO. 211040	6300 East Cave Creek Road, Suite 202 Cave Creek, Arizona 85331 Phone 480.990.0545 Fax 480.994.9097 www.EverettAlanGroup.com	ALAN EVERETT { GROUP }
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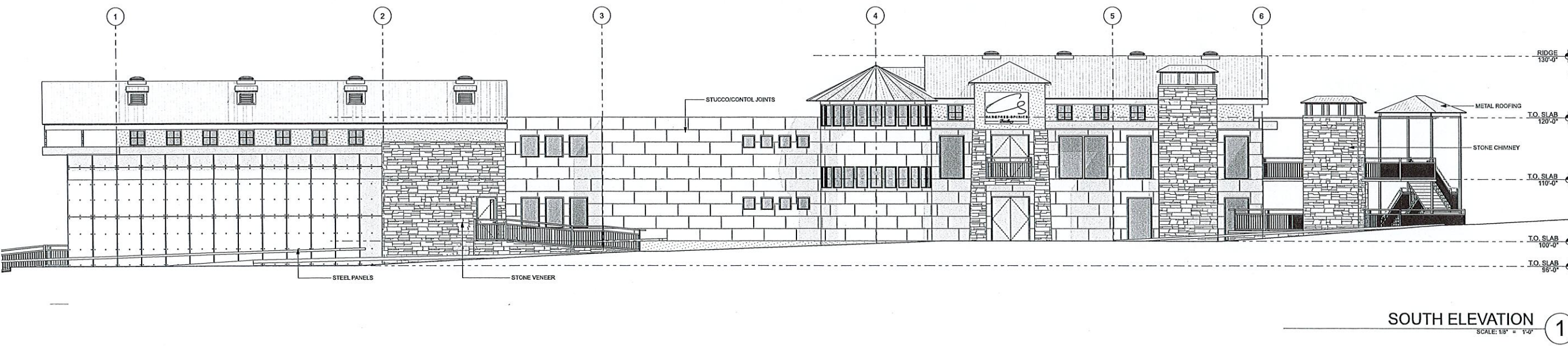
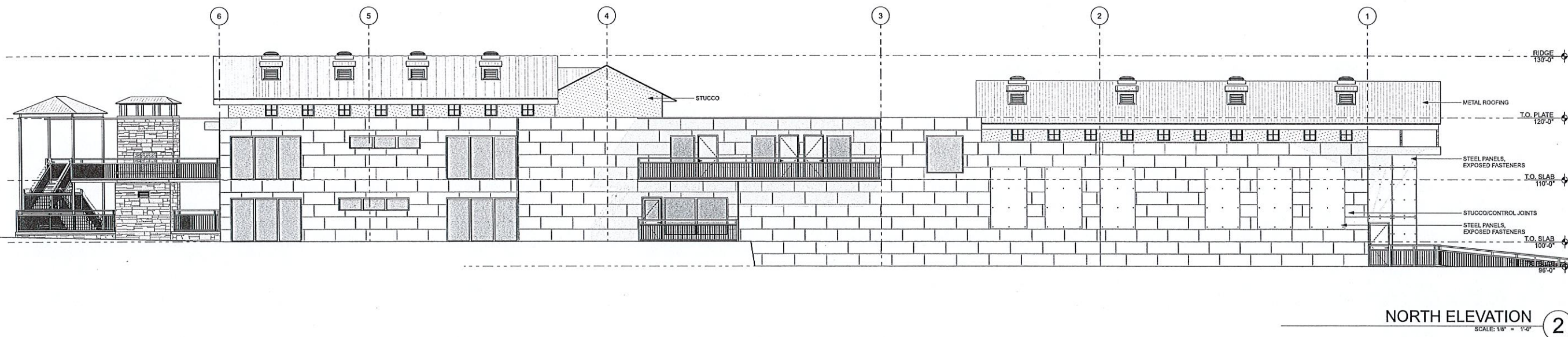
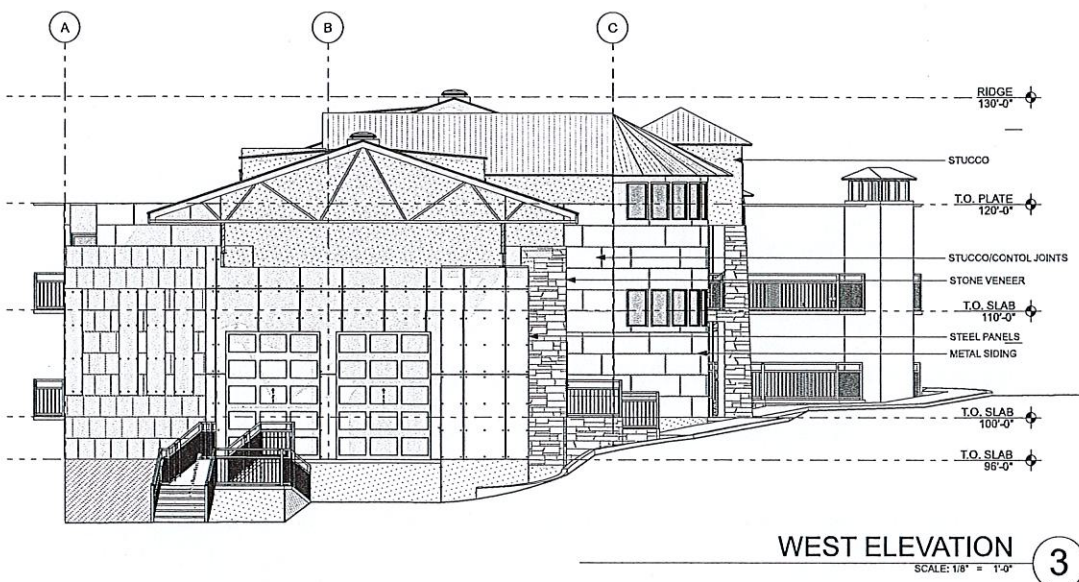
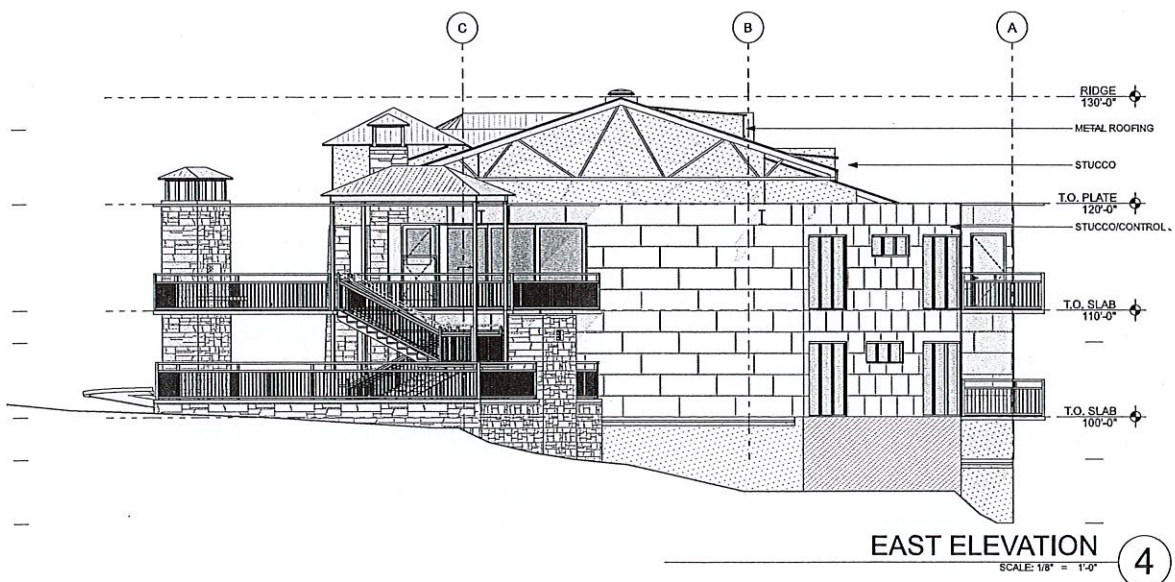
CAREFREE SPIRITS DISTILLERY
7200 EAST CAVE CREEK ROAD
CAREFREE, AZ



7710 East Evening Glow Drive
Scottsdale, AZ 85266
(970) 618-9352
WEB SITE: www.augustreno.com
EMAIL ADDRESS: augie@augustreno.com

Architecture:
REFERENCE ELEVATIONS 1/8"

SHEET NO:
A.2.10





RECEIVED
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Town of Carefree

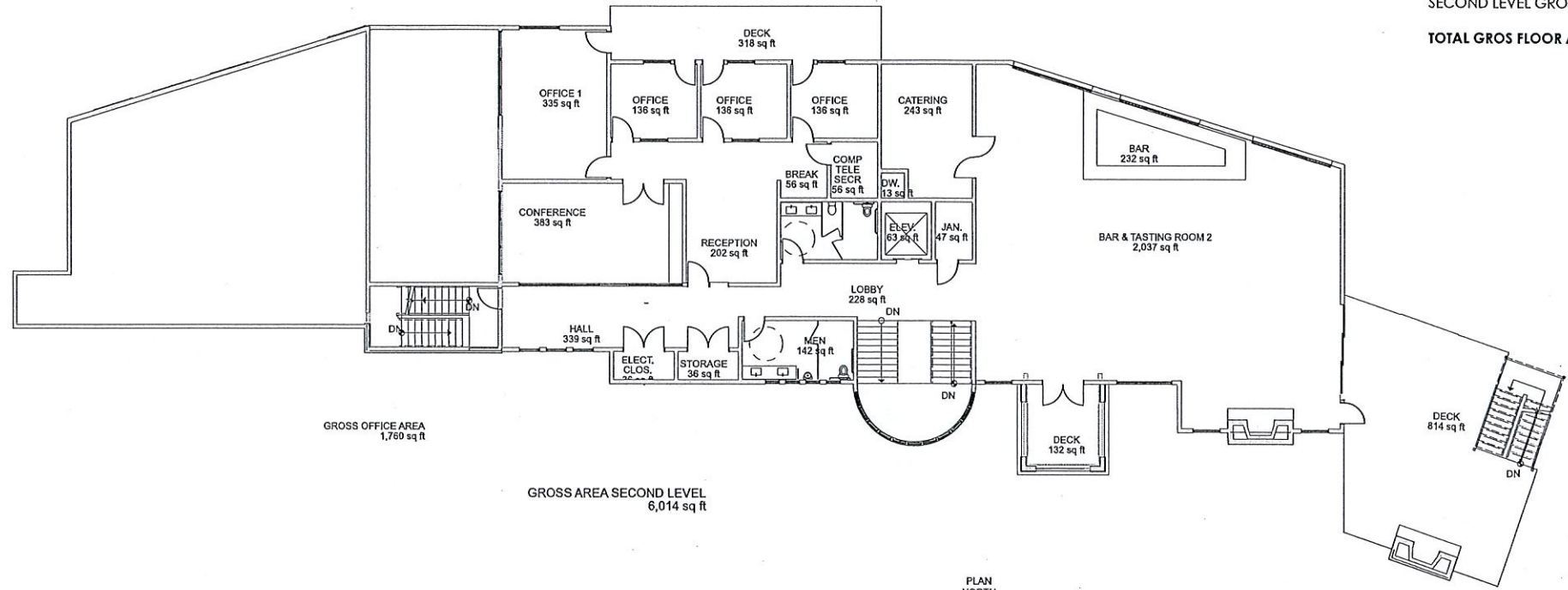
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PROPOSED FLOOR AREA CALCULATION

MAIN LEVEL GROSS AREA:	8,563	SQ. FT.
SECOND LEVEL GROSS AREA	6,014	SQ. FT.
TOTAL GROSS FLOOR AREA	14,577	SQ. FT.



GROSS OFFICE AREA
1,760 sq ft

GROSS AREA SECOND LEVEL
6,014 sq ft

PLAN NORTH

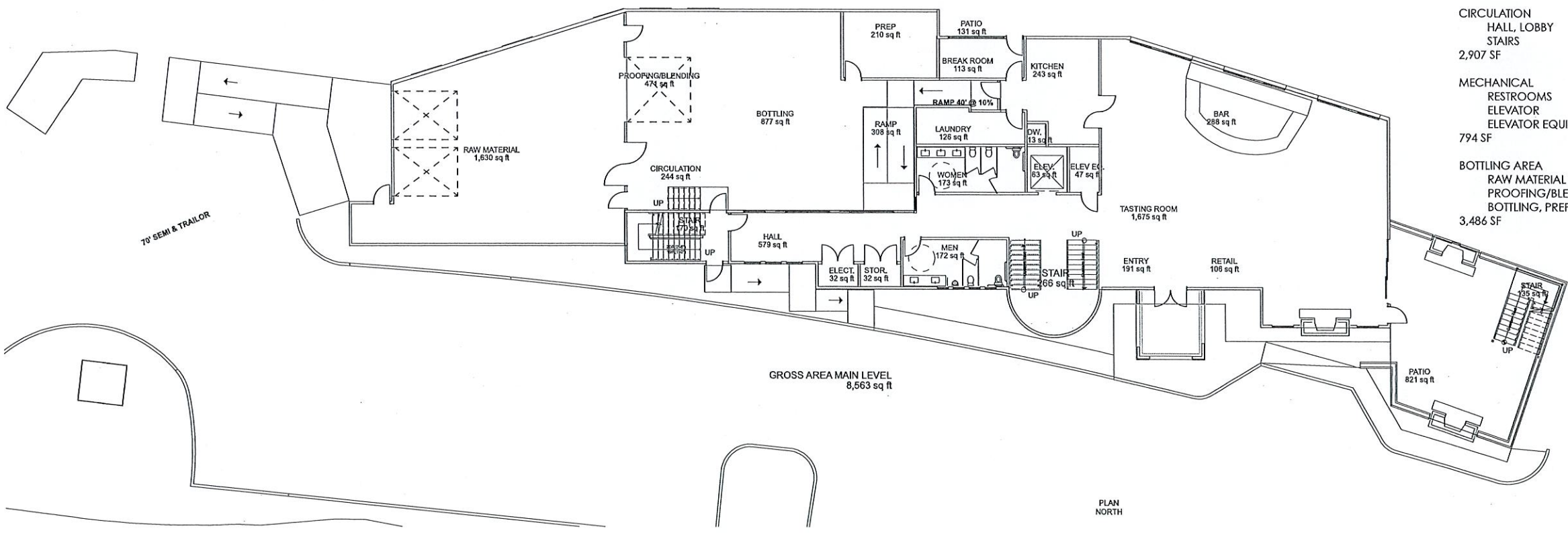
SECOND LEVEL AREA PLAN 2
SCALE: 3/32" = 1'-0"

HABITABLE
BAR, TASTING, KITCHEN
CATERING, DECK, PATIO
OFFICE/CONFERENCE
RECEPTION, BREAK
CLOSESETS, BREAKROOM, RETAIL, LAUNDRY
7,390 SF

CIRCULATION
HALL, LOBBY
STAIRS
2,907 SF

MECHANICAL
RESTROOMS
ELEVATOR
ELEVATOR EQUIP.
794 SF

BOTTLING AREA
RAW MATERIAL
PROOFING/BLENDING
BOTTLING, PREP
3,486 SF



GROSS AREA MAIN LEVEL
8,563 sq ft

PLAN NORTH

MAIN LEVEL AREA PLAN 1
SCALE: 3/32" = 1'-0"

CAREFREE SPIRITS DISTILLERY
7200 EAST CAVE CREEK ROAD
CAREFREE, AZ



7710 East Evening Glow Drive
Scottsdale, AZ 85266
(970) 618-9352
WEB SITE
www.augustreno.com
EMAIL ADDRESS
augie@augustreno.com

Architecture :
AREA PLANS

SHEET NO:
G.0.02



CAREFREE SPIRITS

Distillery

CITIZEN PARTICIPATION REPORT

OWNER

Carefree Spirits Holdings LLC

Carefree Spirits Distillery

35303 N 98th St

Scottsdale, AZ 85262

LOCATION

7200 E Cave Creek Rd

Carefree, AZ 85377

Northwest Corner of Cave Creek Rd and Scopa

CITIZEN PARTICIPATION REPORT FOR CAREFREE SPIRITS HOLDING LLC AND CAREFREE SPIRITS DISTILLERY

Nature of the Request:

Carefree Spirits Holdings LLC and Carefree Spirits Distillery are the owners and developer of approximately 1 acre located at the Northwest corner of Cave Creek Rd and Scopa in the Town of Carefree (the "Site").

The Site will contain a 14,577 square foot Distillery Bottling Plant, Retail Space, Tasting Room, Kitchen, Deck, Patio, Catering, Corporate Offices, Breakroom, Laundry Room, and Reception Area.

Parties affected by the Application:

- Residents and property owners within 500' of the boundaries of the application;
- Homeowner associations within 500' of the boundaries of the application;
- Interested parties who have requested that they be placed on the notification list;
- All cities, towns and Maricopa County that are within ¼ mile of the boundaries of the application;
- Water service company; and
- Rural Metro.

How the Parties were Notified:

An informal neighborhood meeting was held on January 6th, 2022, at 5:00 pm in the Carefree Town Council Center. The residents were notified via Certified Letter with return Receipt. Attached as **Exhibit A** is the letter sent to the residents and signatures of the return receipts. A summary of the meeting and the sign-up sheet are attached as **Exhibit B**.

How the Parties were Provided an Opportunity to Discuss the Proposal with the Applicant in Advance of any Hearing.

There was contact information in the neighborhood meeting letter with both phone number and email address. The contact information for all the Team Members was made available at the informal meeting.

How the Applicant addressed the concern of the view from different locations on Scopa.

The Applicant went to 3 different locations on Scopa and took drone pictures at 5', 10', and 20' in the air looking towards the Site location. The two-story water tank currently sitting on the Site was not visible. Attached is a map of the location of the pictures and the pictures **Exhibit C**.

EXHIBIT A



7200 E Cave Creek Rd Carefree Arizona

Dear Area Property Owners and Interested Parties:

Carefree Spirits Holdings LLC is proposing to develop the Northeast Corner of Cave Creek Rd and Scopa. Attached are some of the documents being submitted for Final Site Plan review and approval for this commercially zoned "C" lot. The gross area of the lot is approximately 1 acre.

This structure is divided into three unique areas; the entry/tasting room/retail store and patios as one area; the administration of the building/essentials of a building as the second area; the preparation area and bottling line as the third area.

The goal of the architecture is to fit in and relate to the architecture of the Town of Carefree and the adjacent buildings. The quality of design, materials, and systems will radiate confidence, unassuming, but modest in many ways and add to the legacy of Carefree. Desert tone colors and materials have been carefully selected. The use of similar materials such as stucco, stone, and steel are used throughout the building to complement and work with the adjacent buildings. The colors will be the combination of a beige, "Tortilla" and of a rusted steel, "Oak Barrel" for the stucco and steel elements of the building. This color palette represents the community and that of the Carefree Spirits Distillery.

The building will cover 40% of the land area and comply with the Town's Zoning Ordinance Requirements for height at 30', will be ADA accessible, have more than the required 10' setback from Cave Creek Rd.

The main entrance and exit for the property are in place off Cave Creek Rd. On the east side of the existing driveway are 40 + existing parking spaces available for the property. A second driveway mainly for exiting will be on West end of the property.

All proposed lighting and signage will meet the Town's Zoning Ordinance requirements and no light fixture will be mounted higher than 16' or spill light onto adjacent lots. The signage includes one 3'x5' ground sign and one 10'x15' building sign above the entrance to the building.

The neighborhood meeting will be held in the Carefree Town Council Center at 33 Easy Street, Carefree, AZ 85377 on January 6th, 2022, at 5:00 PM. If you have any questions, contact Michael McQuiggan 714-337-9901 mike@carefree-spirits.com.

Renea McQuiggan President

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

 FARRELL PATRICIA ANN
 13555 84TH AVE
 CHIPPEWA FALLS WI 54729



9590 9402 6712 1060 7546 65

2. Article Number (Transfer from service label)

021 0950 0001 3711 1448

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
[Signature] Agent Addressee
 B. Received by (Printed Name) *[Signature]*
 C. Date of Delivery
 D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

 RUSSELL NANCY
 218 ARAGON BLVD
 SAN MATEO CA 94402



9590 9402 6712 1060 7549 55

2. Article Number (Transfer from service label)

7021 0950 0001 3711 1721

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Signature]* Agent Addressee
 B. Received by (Printed Name) *[Signature]*
 C. Date of Delivery
 D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

 MCMACKIN DARLA R/SHAUN P
 4955 E CLIFF RD
 PORT CLINTON OH 43452



9590 9402 6712 1060 7549 17

2. Article Number (Transfer from service label)

7021 0950 0001 3711 1677

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Signature]* Agent Addressee
 B. Received by (Printed Name) *[Signature]*
 C. Date of Delivery
 D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete Items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

TURCHETTA ANTHONY/MARY
 PO BOX 285
 CAVE CREEK AZ 85327



9590 9402 6712 1060 7547 02

2. Article Number (Transfer from service label)

121 0950 0001 3711 1486

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery
 12/22/21

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete Items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

WHITE RIVER TRUST
 PO BOX 5402
 CAREFREE AZ 85377



9590 9402 6712 1060 7547 57

2. Article Number (Transfer from service label)

121 0950 0001 3711 1530

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery
 12/22/21

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete Items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

MARIACHI INVESTMENTS LLC
 PO BOX 4120-51062
 PORTLAND OR 97208



9590 9402 6712 1060 7545 66

2. Article Number (Transfer from service label)

021 0950 0001 3711 1356

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery
 C. RHOODES 12/22/21

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) Jennifer Davis</p> <p>C. Date of Delivery 12/20/21</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to:</p> <p>TIROLIAN GROUP LIMITED LLP 223 S SYCAMORE ST NEWTON PA 18940</p>	<p>3. Service Type</p> <p><input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p> <p><input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Registered Mail™ <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>
<p>2. Article Number (Transfer from service label)</p> <p>9590 9402 6712 1060 7547 19</p> <p>021 0950 0001 3711 1493</p>	
PS Form 3811, July 2020 PSN 7630-02-000-9053 Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) John Crubb</p> <p>C. Date of Delivery 12/20/21</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to:</p> <p>WALLS LISSA WILLIAMS/CRIBB JOHN TERRELL 7512 LOON RD HFLNA MT 59602-6572</p>	<p>3. Service Type</p> <p><input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p> <p><input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Registered Mail™ <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>
<p>2. Article Number (Transfer from service label)</p> <p>9590 9402 6712 1060 7545 11</p> <p>7021 0950 0001 3711 1301</p>	
PS Form 3811, July 2020 PSN 7630-02-000-9053 Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) ADH...</p> <p>C. Date of Delivery 12/20/21</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input checked="" type="checkbox"/> No</p>
<p>1. Article Addressed to:</p> <p>HENNIES FAMILY TRUST PO BOX 3453 CAREFREE AZ 85377</p>	<p>3. Service Type</p> <p><input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p> <p><input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Registered Mail™ <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>
<p>2. Article Number (Transfer from service label)</p> <p>9590 9402 6712 1060 7547 40</p> <p>721 0950 0001 3711 1523</p>	
PS Form 3811, July 2020 PSN 7630-02-000-9053 Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION


- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

LOUIS AND SUSAN MATUSIAK FAMILY TRUST

PO BOX 6108

CARFRFF A7 85377



9590 9402 6712 1060 7546 96

2. Article Number (Transfer from service label)

221 0950 0001 3711 1479

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

Louis Matusiak

B. Received by (Printed Name) C. Date of Delivery

Matusiak *2/20/21*

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

CRESWICK KIRK F/VALLERIE L

PO BOX 3348

CAREFREE AZ 85377



9590 9402 6712 1050 7547 33

2. Article Number (Transfer from service label)

221 0950 0001 3711 1516

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

Kirk F. Creswick

B. Received by (Printed Name) C. Date of Delivery

Kirk F. Creswick *2/20/21*

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

MAURER JANET R TR

38732 N 10TH ST

DESERT HILLS AZ 85086



9590 9402 6712 1060 7549 24

2. Article Number (Transfer from service label)

7021 0950 0001 3711 1707

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

Janet R. Maurer

B. Received by (Printed Name) C. Date of Delivery

MARTY DAVIS *2/20/21*

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete Items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

CAVE CREEK TOWN OF
37622 N CAVE CREEK RD
CAVE CREEK AZ 85331-0330



9590 9402 6712 1060 7547 88

2. Article Number (Transfer from service label)

121 0950 0001 3711 1554

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X *Kelley Francis* Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery
Kelley Francis 12/20/21

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type Priority Mail Express®
 Adult Signature Registered Mail™
 Adult Signature Restricted Delivery Registered Mail Restricted Delivery
 Certified Mail® Signature Confirmation™
 Certified Mail Restricted Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery
 Insured Mail
 Insured Mail Restricted Delivery (over \$500)

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

PELOW GARY
PO BOX 763
CAREFREE AZ 85377



9590 9402 6712 1060 7547 71

2. Article Number (Transfer from service label)

121 0950 0001 3711 1561

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X *GARY* Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery
GARY 12/20/21

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type Priority Mail Express®
 Adult Signature Registered Mail™
 Adult Signature Restricted Delivery Registered Mail Restricted Delivery
 Certified Mail® Signature Confirmation™
 Certified Mail Restricted Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery
 Insured Mail
 Insured Mail Restricted Delivery (over \$500)

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete Items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

HARDY PATRICIA K
7015 E MONTGOMERY RD
SCOTTSDALE AZ 85266



9590 9402 6712 1060 7546 27

2. Article Number (Transfer from service label)

7021 0950 0001 3711 1400

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X *P. Hardy* Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery
KG CIA HIS

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type Priority Mail Express®
 Adult Signature Registered Mail™
 Adult Signature Restricted Delivery Registered Mail Restricted Delivery
 Certified Mail® Signature Confirmation™
 Certified Mail Restricted Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery
 Insured Mail
 Insured Mail Restricted Delivery (over \$500)

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

CAMPO JOHN/LAURIE EVELYN
 7643 E BAKER DR
 SCOTTSDALE AZ 85266



9590 9402 6712 1060 7548 01

2. Article Number (Transfer from service label)

021 0950 0001 3711 1585

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *C. T. R. 74* Agent Addressee

B. Received by (Printed Name)
 CAMPO

C. Date of Delivery
 12-17-21

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery
<input type="checkbox"/> Collect on Delivery Restricted Delivery	
<input type="checkbox"/> Insured Mail	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

PURPLE MOUNTAIN PROPERTIES
 LLC8909 E LARRY HUGHES DR
 SCOTTSDALE AZ 85262



9590 9402 6712 1060 7549 62

2. Article Number (Transfer from service label)

7021 0950 0001 3711 1738

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *C. Laborski* Agent Addressee

B. Received by (Printed Name)
 C. Laborski

C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery
<input type="checkbox"/> Collect on Delivery Restricted Delivery	
<input type="checkbox"/> Insured Mail	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

HARPER PAUL SPO
 BOX 1452
 CAREFREE AZ 85377



9590 9402 6712 1060 7548 49

2. Article Number (Transfer from service label)

021 0950 0001 3711 1622

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *Paul Harper* Agent Addressee

B. Received by (Printed Name)
 Paul Harper

C. Date of Delivery
 12-18-22

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery
<input type="checkbox"/> Collect on Delivery Restricted Delivery	
<input type="checkbox"/> Insured Mail	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

DENNIS M MCKENNA FAMILY TRUST
 PO BOX 3462
 CAREFREE AZ 85377



9590 9402 6712 1060 7548 25

2. Article Number (Transfer from service label)

121 0950 0001 3711 1608

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

X *[Signature]*

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

WESTERN STATES PETROLEUM INC
 450 S 15TH AVE
 PHOENIX AZ 85007



9590 9402 6712 1060 7546 58

2. Article Number (Transfer from service label)

121 0950 0001 3711 1431

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

X *[Signature]*

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

LORD DAVID R/PRESTON DEBORAH E
 10827 VALMAY AVE N WEST
 SEATTLE WA 98177



9590 9402 6712 1060 7546 03

2. Article Number (Transfer from service label)

021 0950 0001 3711 1387

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

X *[Signature]*

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

OLTJENBRUNS HOLDINGS LLC
 PO BOX 232
 CAVE CREEK AZ 85327



9590 9402 6712 1060 7545 35

2. Article Number (Transfer from service label)

021 0950 0001 3711 1325

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

[Handwritten Signature] Agent
 Addressee

B. Received by (Printed Name)

C. Date of Delivery

12/18/21

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

TOTAL DIVERSITY INC
 PO BOX 7186
 CAVE CREEK AZ 85327



9590 9402 6712 1060 7544 67

2. Article Number (Transfer from service label)

7021 0950 0001 3711 1264

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

[Handwritten Signature] Agent
 Addressee

B. Received by (Printed Name)

C. Date of Delivery

2-18-21

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

CAREFREE PHYSICAL THERAPY
 PO BOX 5924
 CAREFREE AZ 85377



9590 9402 6712 1060 7546 10

2. Article Number (Transfer from service label)

021 0950 0001 3711 1394

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

[Handwritten Signature] Agent
 Addressee

B. Received by (Printed Name)


C. Date of Delivery


D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No


3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee	
1. Article Addressed to: CAREFREE STUDIO UNIT 3B LLC PO BOX 2281 CAREFREE AZ 85377  9590 9402 6712 1060 7548 70	B. Received by (Printed Name) Lori Reichner	C. Date of Delivery
	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
2. Article Number (Transfer from service label) 021 0950 0001 3711 1653	3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
PS Form 3811, July 2020 PSN 7530-02-000-9053	Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee	
1. Article Addressed to: RIDGEVIEW ESTATES HOMEOWNERS ASSOC PO BOX 2571 CARFRFF A7 85377-2571  9590 9402 6712 1060 7544 98	B. Received by (Printed Name) S. Matusiak	C. Date of Delivery 10/15/17
	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input checked="" type="checkbox"/> No	
2. Article Number (Transfer from service label) 021 0950 0001 3711 1288	3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
PS Form 3811, July 2020 PSN 7530-02-000-9053	Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to: WWV HOLDINGS LLC PO BOX 868 CAREFREE AZ 85377  9590 9402 6712 1060 7548 94	B. Received by (Printed Name)	C. Date of Delivery 10/16/17
	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input checked="" type="checkbox"/> No	
2. Article Number (Transfer from service label) 7021 0950 0001 3711 1684	3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
PS Form 3811, July 2020 PSN 7530-02-000-9053	Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

MOUNTAIN STATES TELEPHONE & TELEGRAPH CO
1801 CALIFORNIA ST
DENVER CO 80202



9590 9402 6712 1060 7546 34

2. Article Number (Transfer from service label)

021 0950 0001 3711 1417

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature *[Signature]* Agent Addressee

B. Received by (Printed Name) *COOPER* C. Date of Delivery *12/20/21*

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type

Adult Signature Priority Mail Express®
 Adult Signature Restricted Delivery Registered Mail™
 Certified Mail® Registered Mail Restricted Delivery
 Certified Mail Restricted Delivery Signature Confirmation™
 Collect on Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Restricted Delivery Insured Mail
 Insured Mail Restricted Delivery (over \$500)

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

SFR 2012-1 US WEST LLC
8665 E HARTFORD DR STE 200
SCOTTSDALE AZ 85255



9590 9402 6712 1060 7547 26

2. Article Number (Transfer from service label)

7021 0950 0001 3711 1509

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature *[Signature]* Agent Addressee

B. Received by (Printed Name) *DEC 20 2021* C. Date of Delivery *DEC 20 2021*

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

PLEASE UPDATE YOUR RECORDS
Invitation Homes
1131 West Warner Road, Suite 102
Tempe, AZ 85284

3. Service Type

Adult Signature Priority Mail Express®
 Adult Signature Restricted Delivery Registered Mail™
 Certified Mail® Registered Mail Restricted Delivery
 Certified Mail Restricted Delivery Signature Confirmation™
 Collect on Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Restricted Delivery Insured Mail
 Insured Mail Restricted Delivery (over \$500)

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

EVANS JACK C/M JEANETTE TR/ETAL
10105 E VIA LINDA STE 103 189
SCOTTSDALE AZ 85258



9590 9402 6712 1060 7545 59

2. Article Number (Transfer from service label)

121 0950 0001 3711 1349

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature *[Signature]* Agent Addressee

B. Received by (Printed Name) *Kali Zempich* C. Date of Delivery *12-14-21*

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type

Adult Signature Priority Mail Express®
 Adult Signature Restricted Delivery Registered Mail™
 Certified Mail® Registered Mail Restricted Delivery
 Certified Mail Restricted Delivery Signature Confirmation™
 Collect on Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Restricted Delivery Insured Mail
 Insured Mail Restricted Delivery (over \$500)

Domestic Return Receipt

EXHIBIT B



Neighborhood Meeting Minutes
01/06/2022
5 pm
Carefree, Arizona

The neighborhood meeting was held for the Town of Carefree. It was an informal meeting put on by Carefree Spirits Distillery with certified letters sent to residents within 500 ft of the building site for Carefree Spirits Distillery. Five citizens in the surrounding area attended the meeting along with two members from the Town of Carefree and five members of the Carefree Spirits Distillery team. On display were the Schematics and Renderings for all to view.

Two citizens voiced their concern about an increase in traffic along Scopa and were assured that, after doing a traffic study, there would be a very minimal amount of traffic along Scopa since it would be used mainly for exiting to access Cave Creek Rd and not driving into the neighborhood. One citizen was adamant that there should be no driveway exit to Scopa.

Two citizens voiced a concern in parking and would it overflow into the private lots of other businesses or into Cave Creek/Scopa. Carefree Spirits Distillery has an abundance of parking after showing the schematics of the available parking the citizen was less concerned.

One citizen asked the hours and number of employees. They were advised that this is not a bar but a Tasting Room with hours from noon until 9 PM with about 20 employees.

One citizen inquired about materials, grains, noise, and odor. It was explained that the actual distilling is not done at this location. This will be a bottling plant with no grains, noise, or odor.

One citizen asked how much sales tax revenue would the Town of Carefree receive because of this business. That information was not available at the meeting.

One citizen questioned the lighting for dark sky reasons. They were assured that all lighting will follow the dark sky requirements. They felt it should be more than the dark sky requirements.

One citizen brought up the vegetation on the lot and was happy to hear that Carefree Spirits Distillery will be adding landscaping and will improve the look on the currently empty dirt lot with no vegetation.

One citizen was concerned that Carefree Spirits Distillery would use too much water but after being informed that Carefree Spirits Distillery imports the water that concern was put to rest.

One citizen brought up the height of the building. Carefree Spirits Distillery failed to mention that the height is in accordance with the zoning for a commercial location at 30 feet and did not advise the citizens of that.

One citizen asked about the event center area and would it be available for local organizations. They were assured that the event center would be available to local organizations.

One citizen was very supportive and excited to have Carefree Spirits Distillery in Carefree. Several citizens asked for copies of these minutes. These minutes have been sent to all people signed in at the meeting.

Carefree Spirits Distillery Local Resident meeting Jan. 6, 2022.

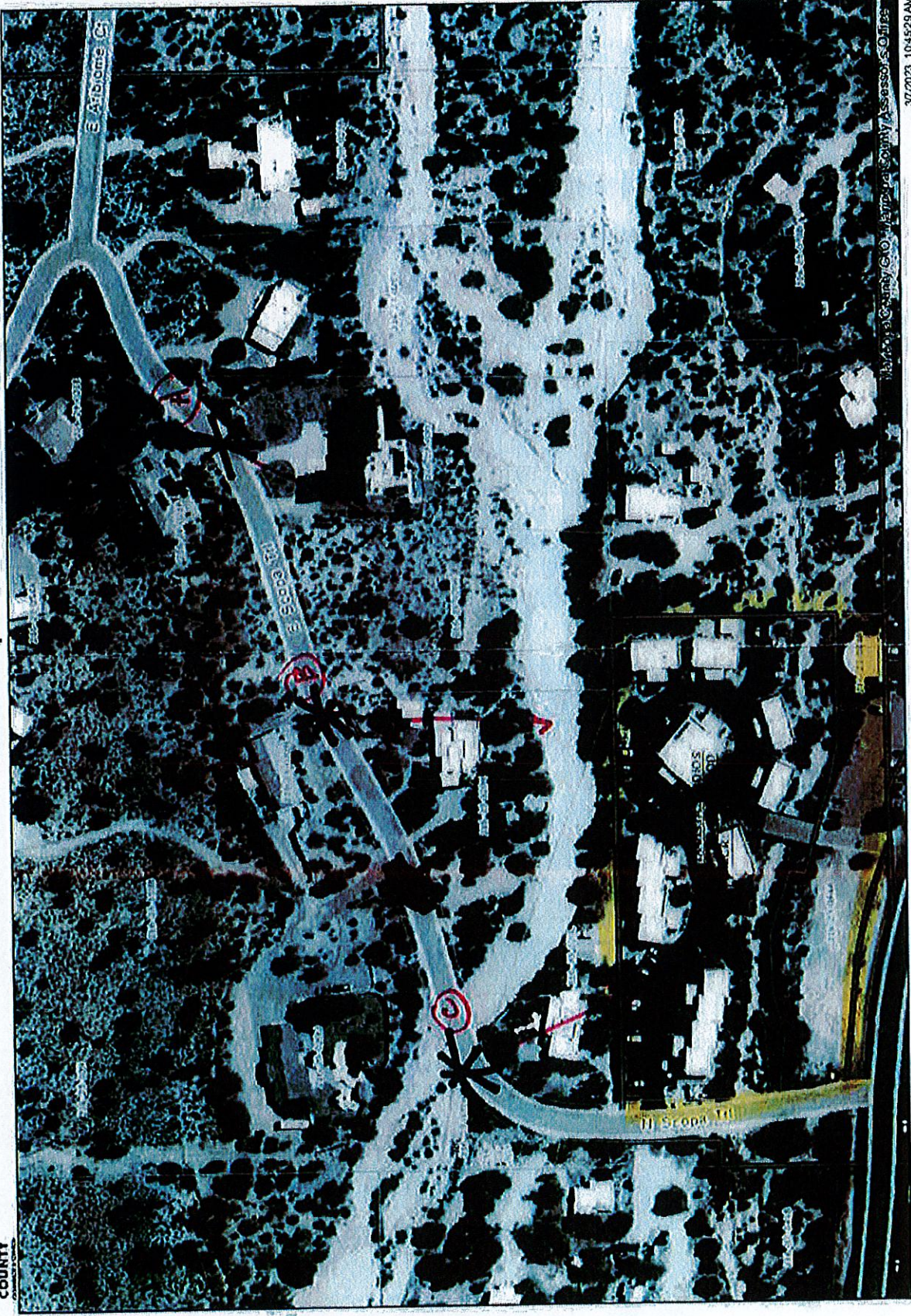
<u>Name</u>	<u>Email</u>
CRIS CARUSO	CCARUSO@CARUSOCONSTRUCTION.COM
Stacy Bridg-Denzak, T.O.C.	Stacy@carefree.org
August Bero	augie@carefree.org
Connie Skenn	mecm@carefree.org
David Lord	dave lord 49@gmail.com
Paul Harper	paul.harper@asu.edu
Cynthia Driskell	cdriskell@carefree physicaltherapy.com
Aerin Sheardose	
Steve Procyk	Steve@Carefree.org

EXHIBIT C

Z11040

Map

MARICOPA COUNTY



Maricopa County, CO, Property Assessor, S © 2023

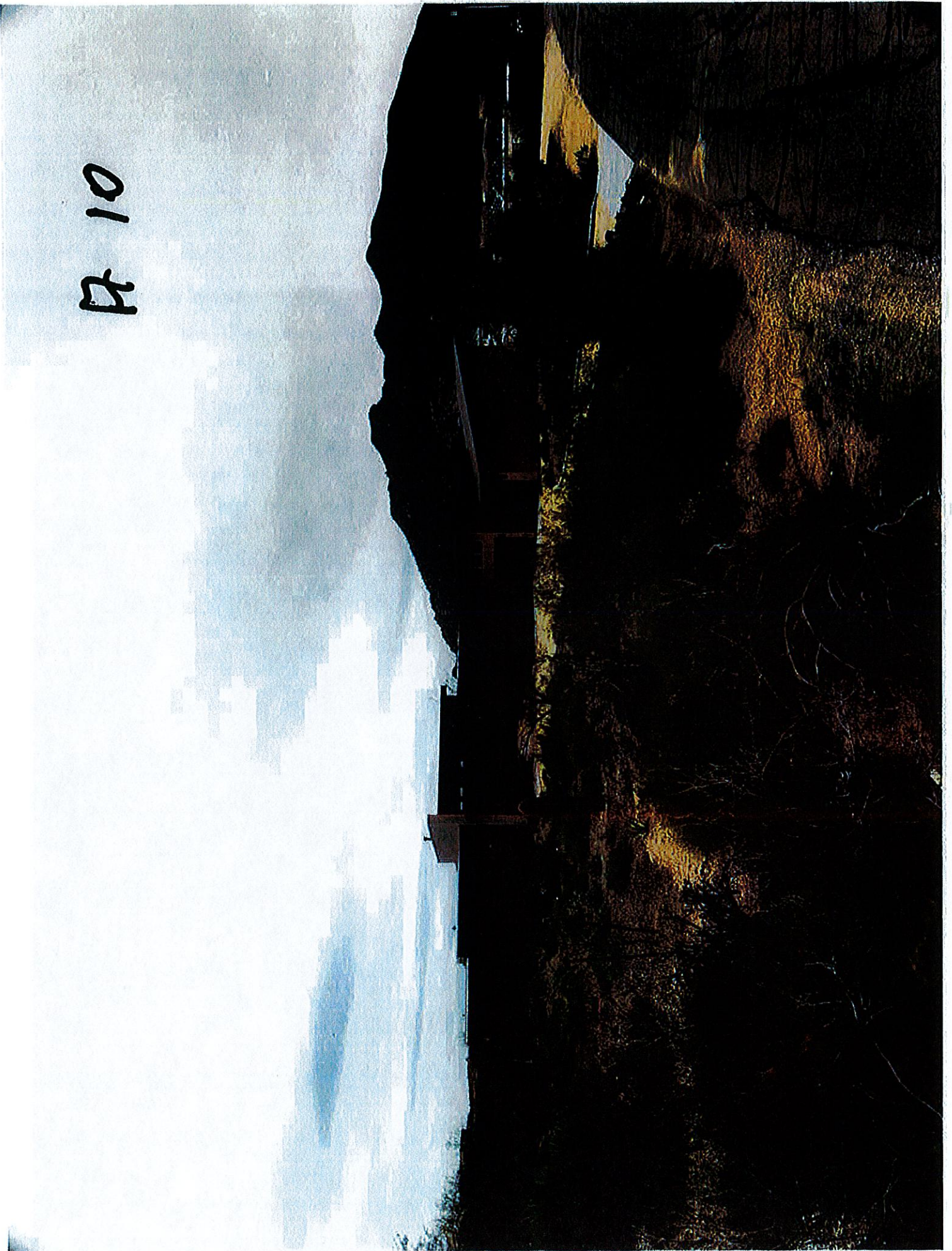
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Lot
Number

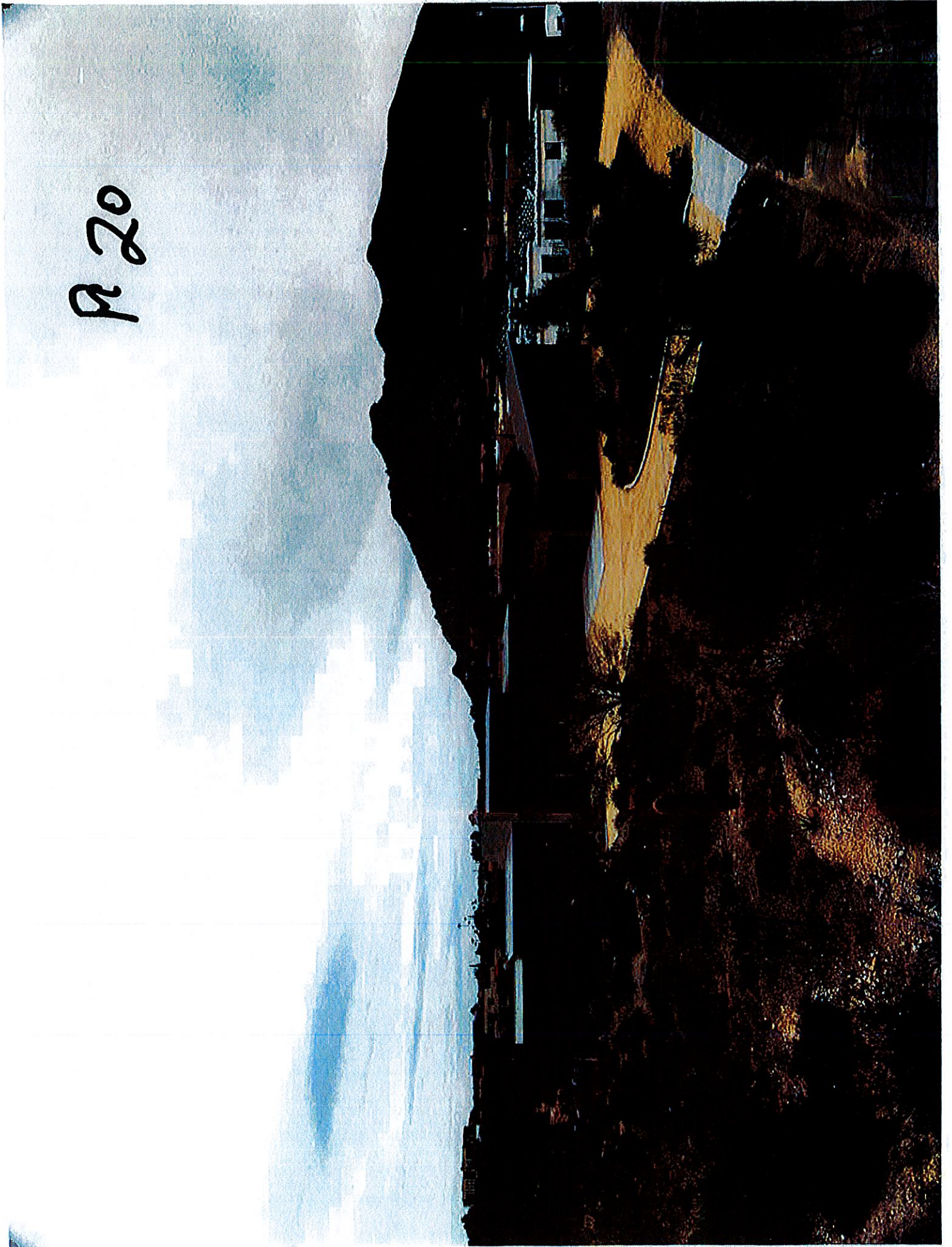
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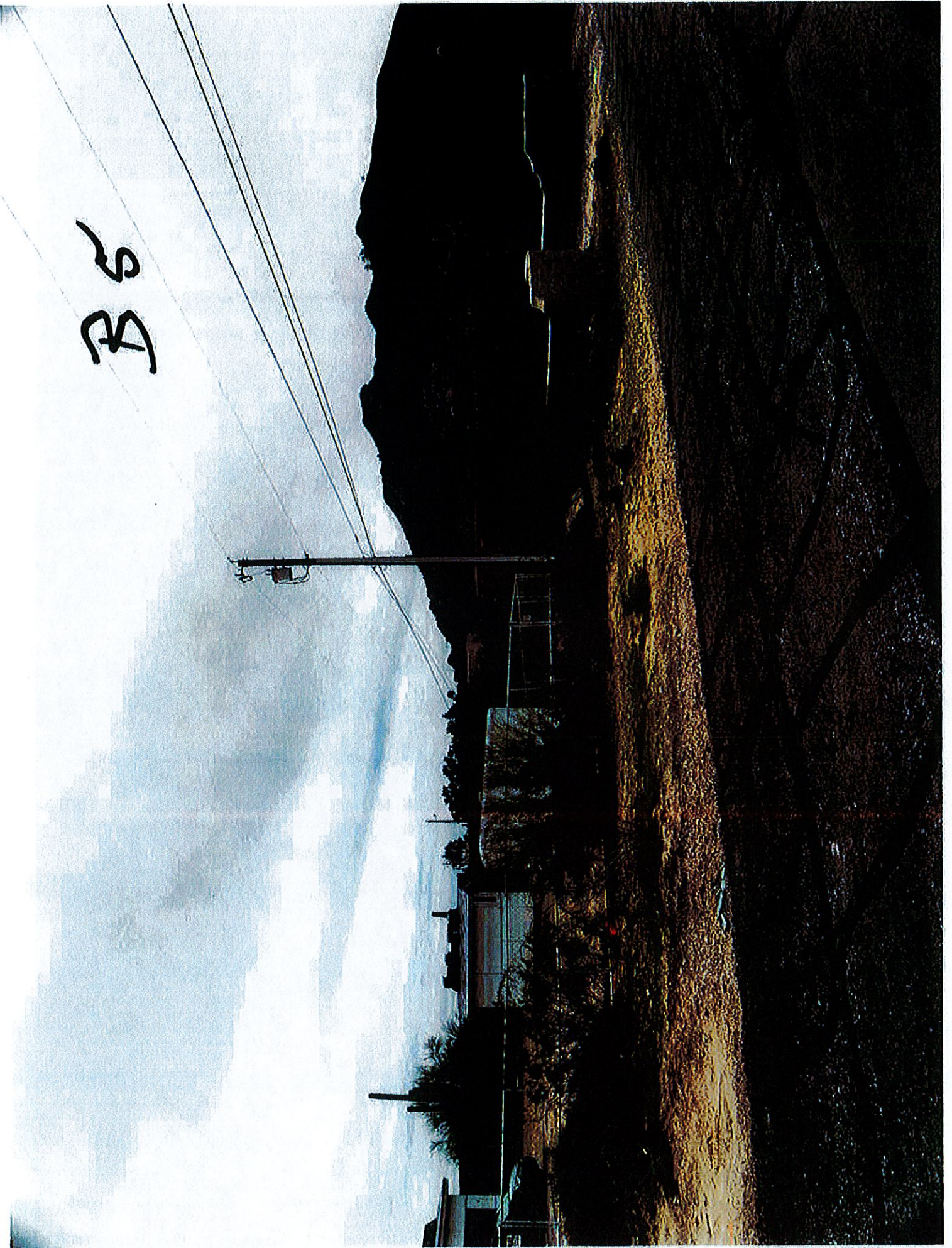
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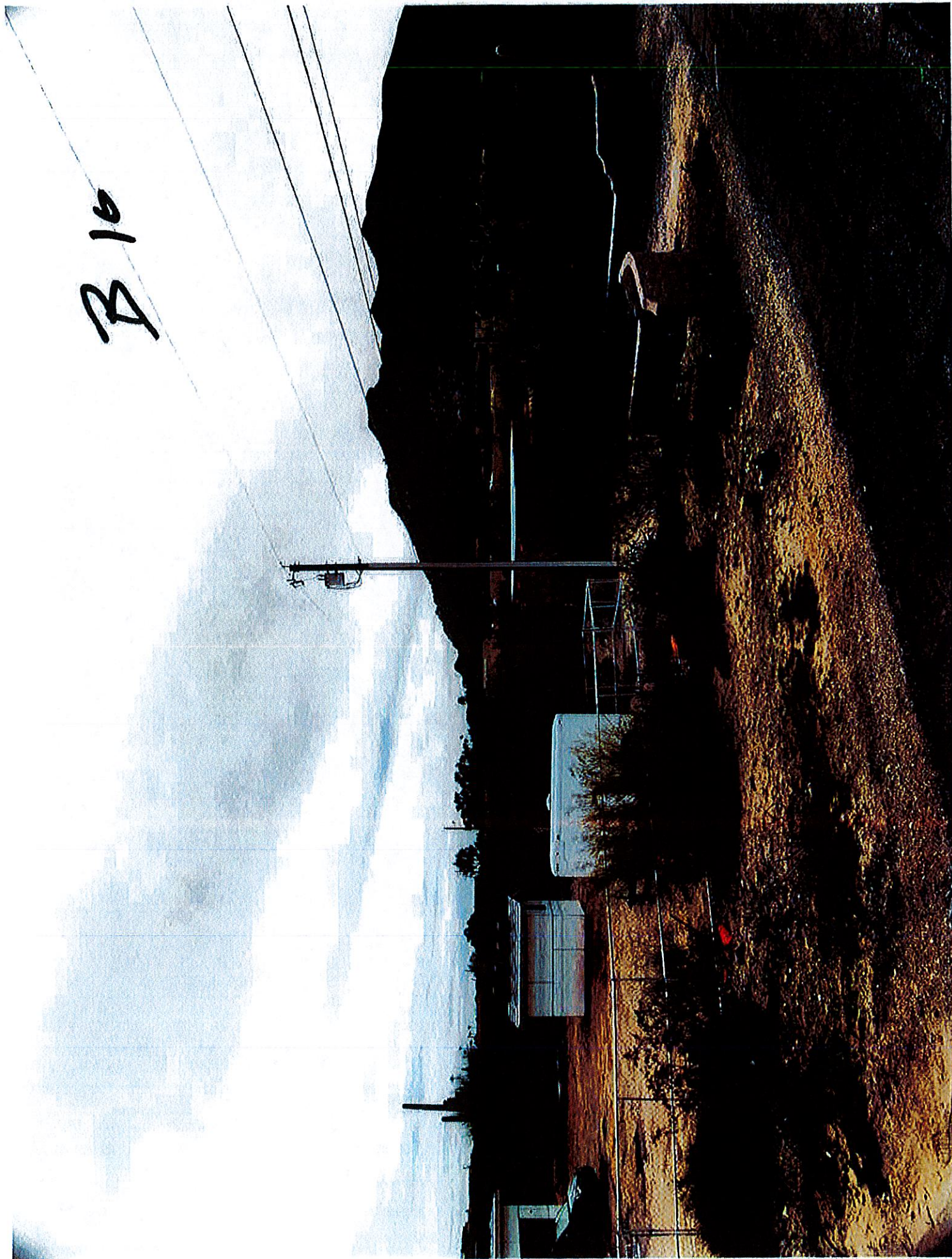
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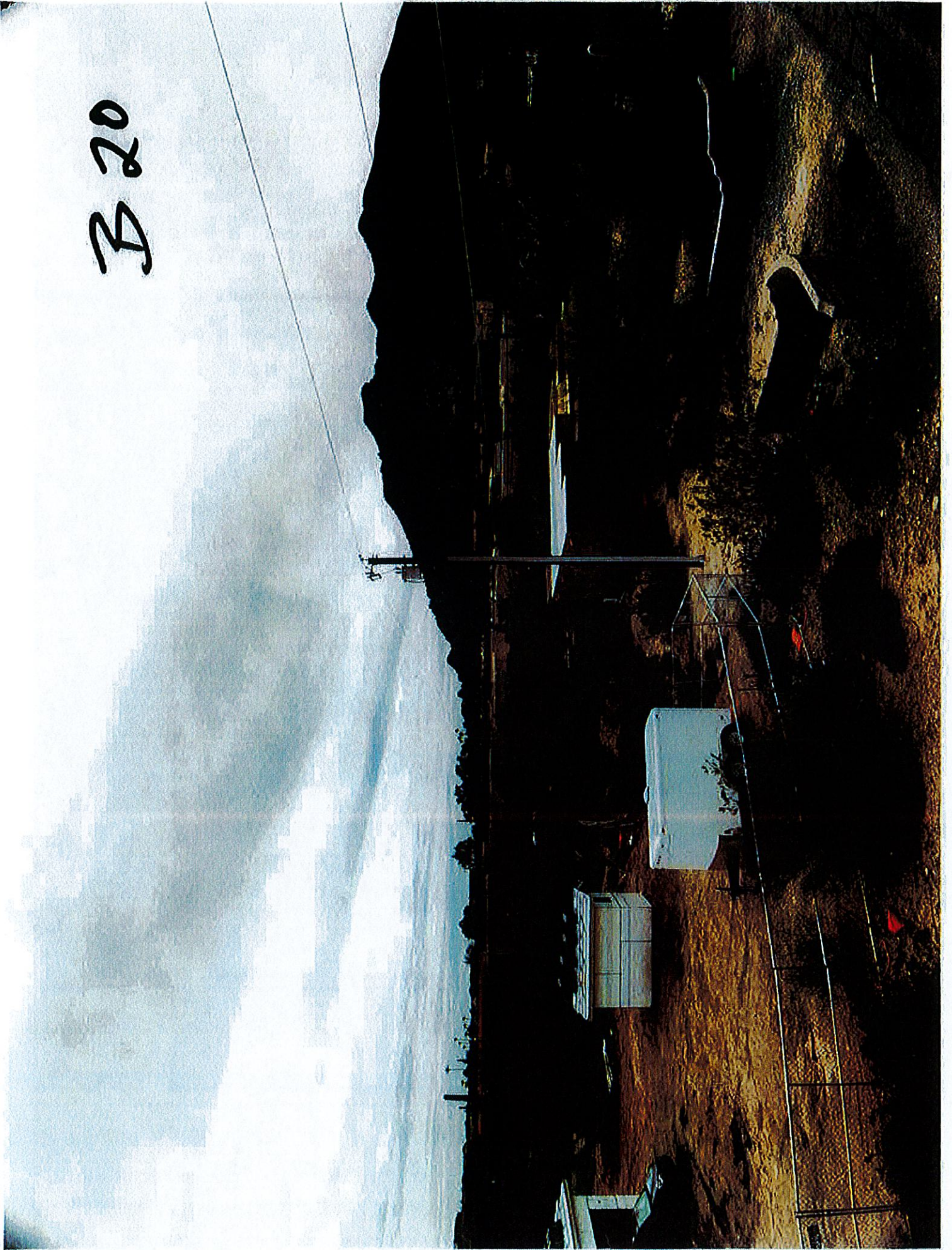
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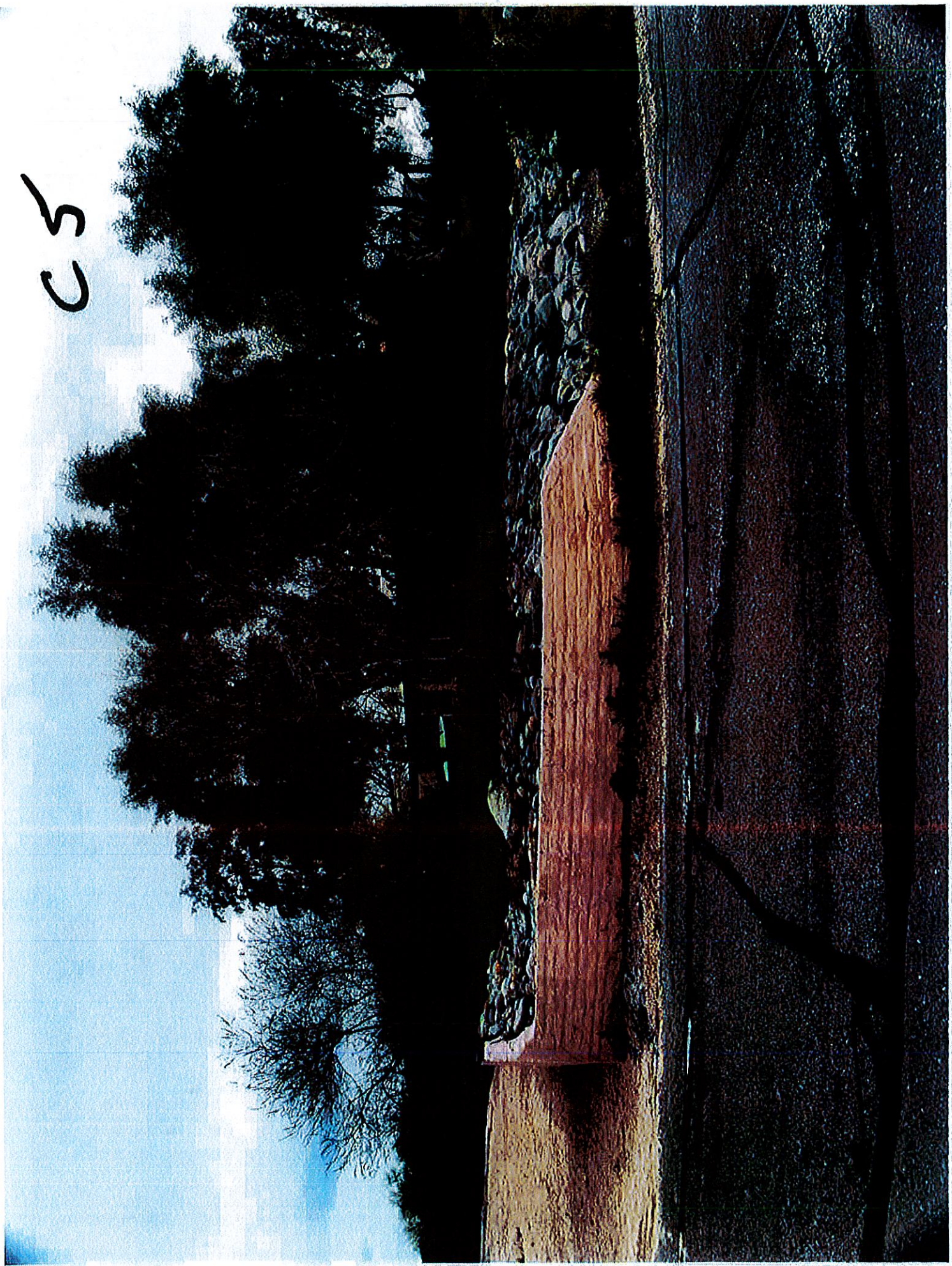
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